

NOTE:
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PROPERTY OF FRUSTERIO
THIS ORIGINAL PLAN & ITS IDEAS ARE THE PROPERTY OF FRUSTERIO DESIGN, INC. ANY REPRODUCTION OR PART IS IN VIOLATION OF COPYRIGHT REPERMISEMENT WHICH MAY RESULT IN LEGAL ACTION FOR COMPENSATION ENFORCED BY SROTE & PERMUTT P.C. 2311 HIGHLAND AVE. BIRMINGHAM ALABAMA) FRUSTERIO DESIGN, INC. RESERVES THE RIGHT TO PUBLISH, ADVERTISE AND/OR SELL ALL OR PART OF ANY OF ITS HOME PLAN DESIGNS.

UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER SHALL AGREE TO THE FOLLOWING TERMS: JAW CUSTOM HOMES
LIMITED CONSTRUCTION LICENSE

AS THE ORIGINAL PURCHASER OF PLAN "FRUSTERIO 2311" IS HEREBY GRANTED A LIMITED NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DEPICTED IN THIS PLAN. USE OF THIS PLAN TO BUILD ONE OR ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED. UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

DO NOT ISSUE BUILDING PERMIT ON THIS PLAN WITHOUT COPYRIGHT LOGO STAMP. UNAUTHORIZED USE OF THIS HOME PLAN WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW THAT PROTECTS THE USE OF THIS DOCUMENT.

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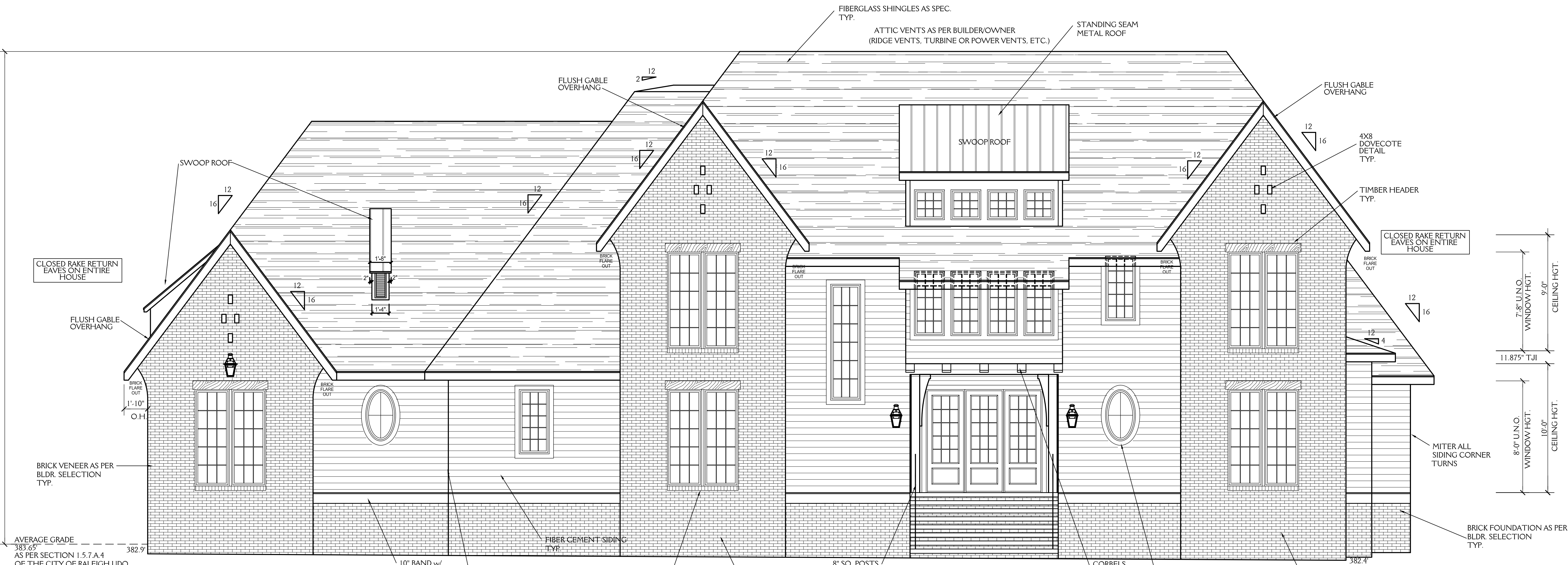
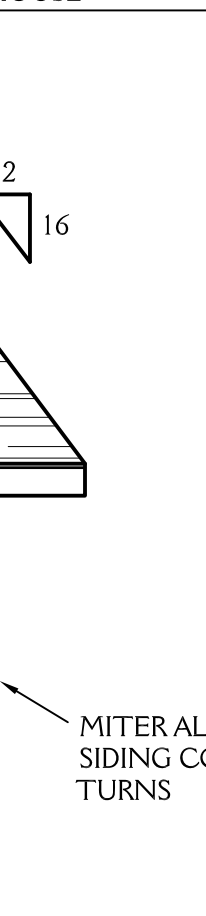
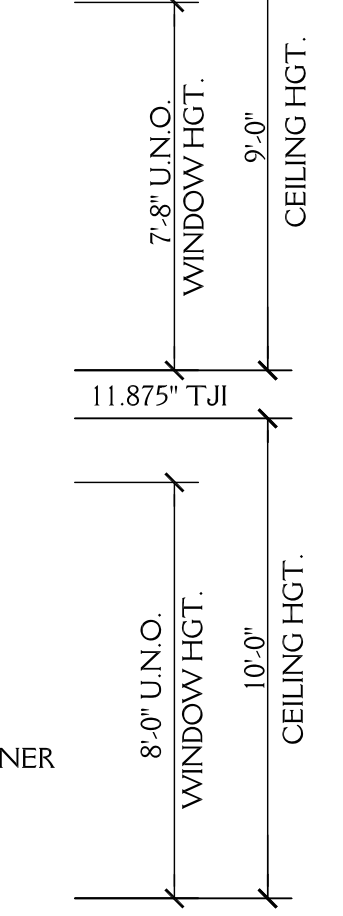
PROFESSIONAL MEMBER OF THE NATIONAL BOARD OF PROFESSIONAL ENGINEERS AND THROUGH UNDERSTANDING IT IS ESTABLISHED - PROFESSIONAL REGISTERED ARCHITECT
FRUSTERIO.COM DESIGNER OF THE SOUTHERN LIVING IDEA HOUSE

QUESTIONS ON THIS PLAN 866-225-8111

THE ORIGINAL PLAN AND DESIGN IS THE PROPERTY OF CHARLES M. FRUSTERIO AND CAN NOT BE RECREATED OR COPIED WITHOUT THE EXPRESS WRITTEN CONSENT OF FRUSTERIO DESIGN, INC. *

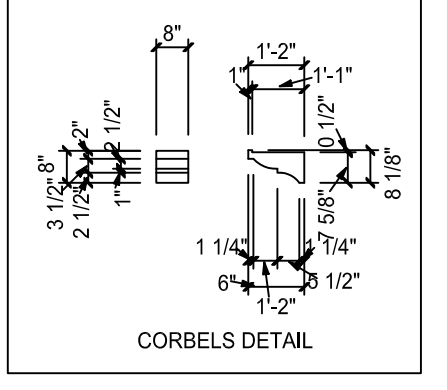
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J&W CUSTOM HOMES
601 DAVIDSON DR/ RALEIGH, NC
JOB #3734-2797-0723
CUSTOM HOME DOCUMENTS
DESIGN DATE: July 18, 2023
PLOTING TIME: 06:11 AM
SHEET 1/7



FRONT ELEVATION DETAIL

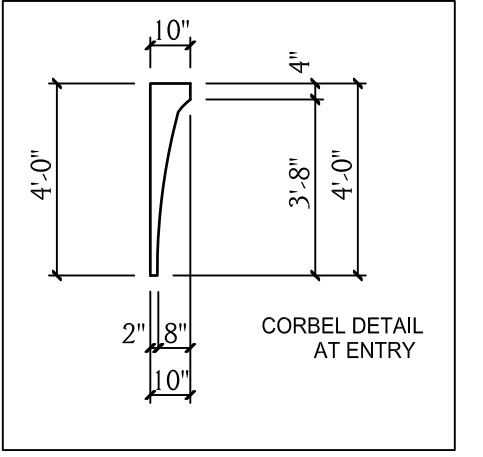
SCALE: 1/4"=1'0"



IMPORTANT NOTES ON HOME APPEARANCE:
CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTIONS. SCALE ALL STUCCO DETAILS FROM THE ELEVATION DRAWINGS. REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.
NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.
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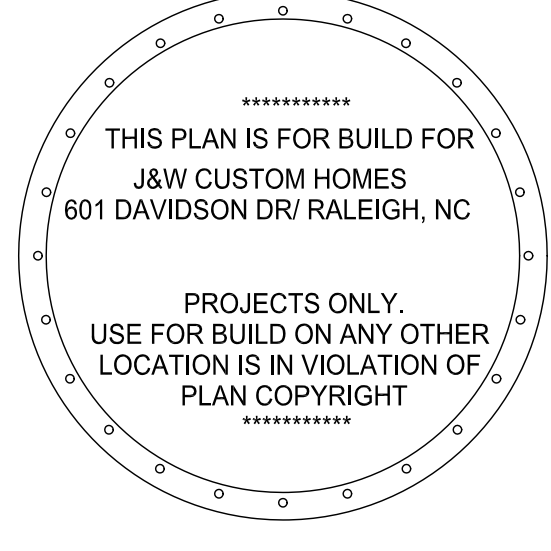
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ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBER MANUFACTURER AND BY A LICENSED STRUCTURAL ENGINEER.
OUTER EDGES OF FOOTINGS SHALL NOT BE POURED WITHIN 2'-0\"/>



PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE
HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST (89 FASTEST MILE), EXPOSURE B
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12\"/>

MEAN ROOF HEIGHT =	< 30'-0"
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS	
MEAN ROOF HEIGHT	UP TO 30' 30'-1" - 35' 35'-1" - 40' 40'-1" - 45'
ZONE 1	16.5, -18.0 17.3, -18.9 18.0, -19.6 18.5, -20.2
ZONE 2	16.5, -21.0 17.3, -22.1 18.0, -22.9 18.5, -23.5
ZONE 3	16.5, -21.0 17.3, -22.1 18.0, -22.9 18.5, -23.5
ZONE 4	18.0, -19.5 18.9, -20.5 19.6, -21.3 20.2, -21.8
ZONE 5	18.0, -24.1 18.9, -25.3 19.6, -26.3 20.2, -27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE:
ZONE 4 MAX GLAZING U-FACTOR = 0.32 CEILING R-38 WALLS R-15 FLOORS R-19



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THIS HOME AND ITS DESIGN MUST BE CONSTRUCTED BY A LICENSED AND REPUTABLE BUILDER WITH EXPERIENCE IN CONSTRUCTING THIS TYPE OF HOME.
ALL SUB-CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK REQUIRED. FRUSTERIO DESIGN, INC. ASSUMES NO LIABILITY FOR ANY ERRORS IN THIS PLAN.
IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW AND PERFORM ALL DUE DILIGENCE ON THIS PLAN AND NOTIFY FRUSTERIO DESIGN, INC. OF ANY CONCERNS PRIOR TO BEGINNING CONSTRUCTION.
THE SELECTION AND CONDITION OF LUMBER USED IN CONSTRUCTION MAY VARY WIDELY, AS DOES THE QUALITY OF THE WORKMANSHIP. NEITHER FRUSTERIO DESIGN, INC. OR ITS MEMBERS HAVE KNOWLEDGE OF THE QUALITY OF THE WORKMANSHIP OR CONSTRUCTION METHODS AND PRACTICES USED ON ANY CONSTRUCTION PROJECT AND IS THEREFORE HELD HARMLESS FROM THE DESIGN OR PERFORMANCE OF THE LUMBER IN COMPLETED STRUCTURES.
ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST MEET CURRENT INT CODE REQUIREMENTS, CERTIFIED & DESIGNED BY THE MANUFACTURER OR BY A LICENSED STRUCTURAL ENGINEER.
ANY STRUCTURAL & FLOOR JOIST NOTATION ON THIS PLAN IS INTENDED FOR PURPOSES OF DESIGN ONLY. IN ON WAY INDICATES FINAL STRUCTURAL REQUIREMENTS FOR LOAD BEARING LOCATIONS WHICH ARE DESIGNED BY OTHERS.
ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBER MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.
EASEMENTS & SETBACKS AS DETERMINED BY LICENSED SURVEYOR. IT IS RECOMMENDED THAT A CERTIFIED STRUCTURAL ENGINEER REVIEW THE FRAMING CONSTRUCTION TO VERIFY STRUCTURAL INTEGRITY.
THESE PLANS DO NOT SHOW OR SUGGEST FINAL REQUIRED CONSTRUCTION PRACTICES.

SITE REQUIREMENTS
THESE PLANS ARE FOR UNIVERSAL CONDITIONS & DO NOT ADDRESS SPECIFIC SITE REQUIREMENTS. IT IS RECOMMENDED THAT SOIL CONDITIONS AT SITE BE SAMPLED & TESTED BY A COMPETENT SOILS TESTING LABORATORY AND, IF NECESSARY, FOUNDATION PLAN BE MODIFIED BY A STRUCTURAL ENGINEER WHO IS FAMILIAR WITH THE BUILDING SITE CONDITIONS & BE BASED ON RECOMMENDATIONS OF THE SOILS TESTING LABORATORY.
COMPARE DIMENSIONS WITH FLOOR AND VERIFY ALL DIMENSIONS INCLUDING COMPARISON OF FLOOR PLANS AND FOUNDATION TO INSURE ACCURACY PRIOR TO THE BEGINNING OF CONSTRUCTION. TO THE BEST OF HIS KNOWLEDGE, THE DESIGNER HAS PREPARED THESE PLANS TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND GENERAL BUILDING CODES AT THE TIME. ALTHOUGH EVERY REASONABLE EFFORT HAS BEEN MADE TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THE CONTRACTOR AND/OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS.
IT IS THE RESPONSIBILITY OF THE LUMBER SUPPLIER TO DETERMINE, CALCULATE, ENGINEER, AND CERTIFY ALL LOAD BEARING LOCATIONS ON THIS PLAN AND PROVIDE THE REQUIRED LUMBER AND BEAM MATERIAL TO SUBSTANTIALLY SUPPORT THE STRUCTURAL INTEGRITY OF THIS PLAN.
FRUSTERIO DESIGN, INC. IS A RESIDENTIAL DESIGN FIRM AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THIS PLAN. CONSTRUCTION PRACTICES, OR THE FINAL PLACEMENT OF THIS HOME ON ITS SITE.
SOME STATES AND/OR LOCAL BUILDING CODES MAY REQUIRE A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT'S CERTIFICATION STAMP BEFORE BUILDING PERMITS CAN BE ISSUED.

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THIS PLAN AND ITS DESIGN COMPOSITION IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ENFORCED BY COPYRIGHT ATTORNEY'S SROTE & PERMUTT P.C., BIRMINGHAM, ALABAMA. UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER IS DEEMED TO HAVE AGREED TO THE FOLLOWING TERMS: JAW CUSTOM HOMES

AS THE ORIGINAL PURCHASER OF PLAN "3734-2797-0727", IS HEREBY GRANTED A LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DEPICTED IN THIS PLAN. USE OF THIS PLAN TO BUILD MORE THAN ONE OR ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED AND UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

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BUILDING PERMIT *** COPYRIGHT WARNING ***
FRUSTERIO DESIGN, INC. 1985-2023. ALL RIGHTS RESERVED.
BY WISCONSIN HOUSE IS BUILT AND THROUGH UNDERSTANDING IT IS ESTABLISHED - PROVERBS 9:3

FRUSTERIO.COM
SOUTHERN LIVING IDEA HOUSE

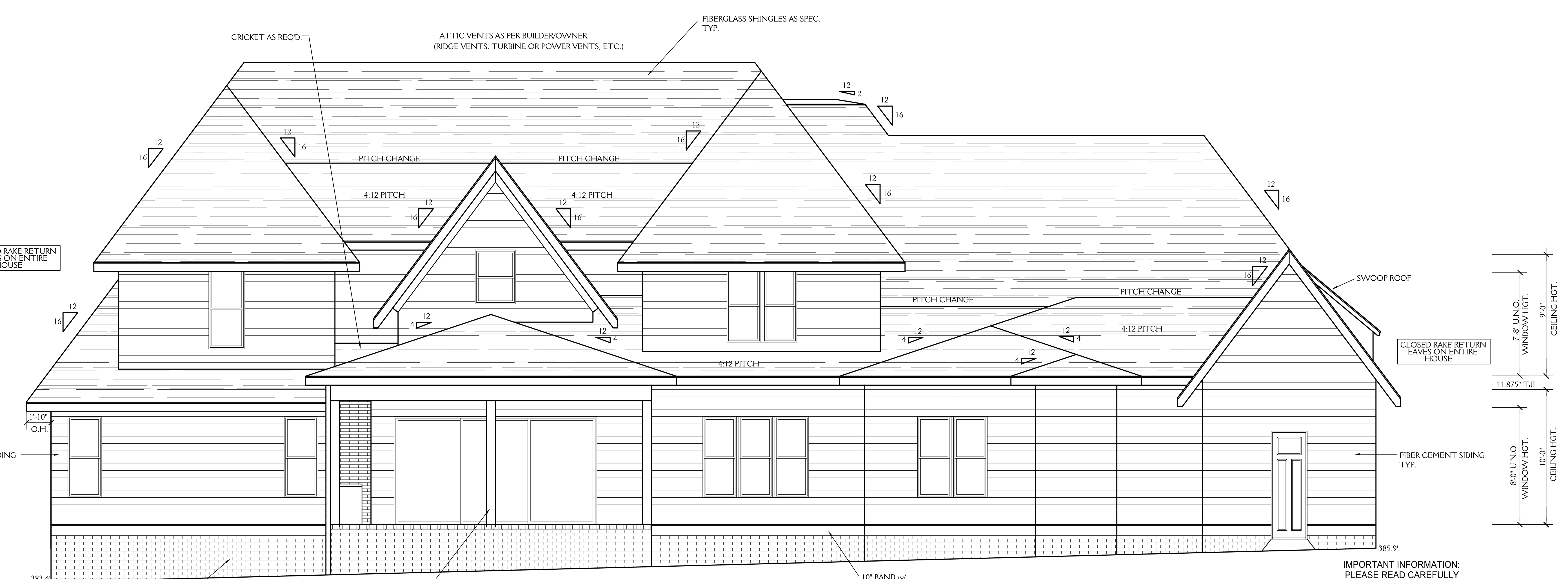
QUESTIONS ON THIS PLAN
866-225-8111

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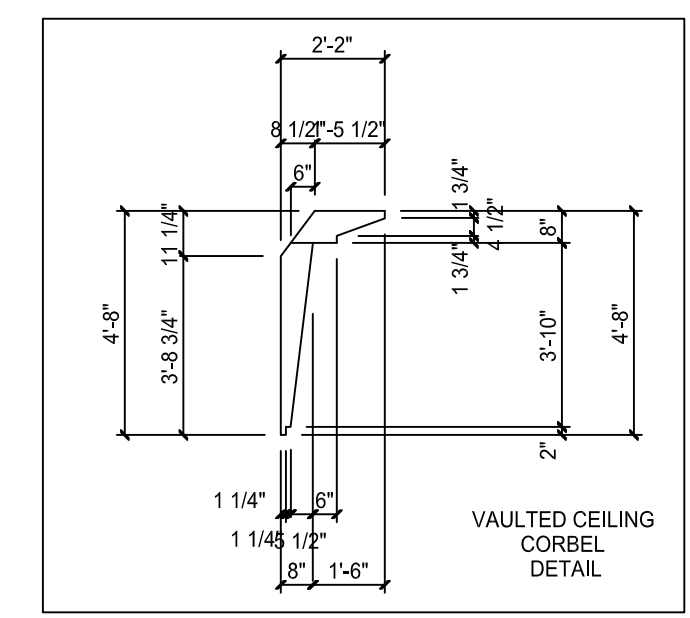
CUSTOM HOME DOCUMENTS

DESIGN DATE: July 18, 2023
PLOT/TIME: 06:11 AM
SHEET # 217

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REAR ELEVATION DETAIL
SCALE: 1/4" = 10"



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REFERENCE NOTED DISCLAIMERS AND RECOMMENDATIONS.
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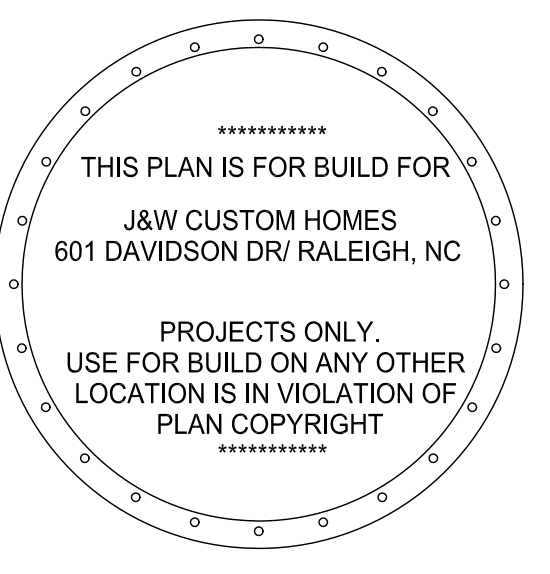
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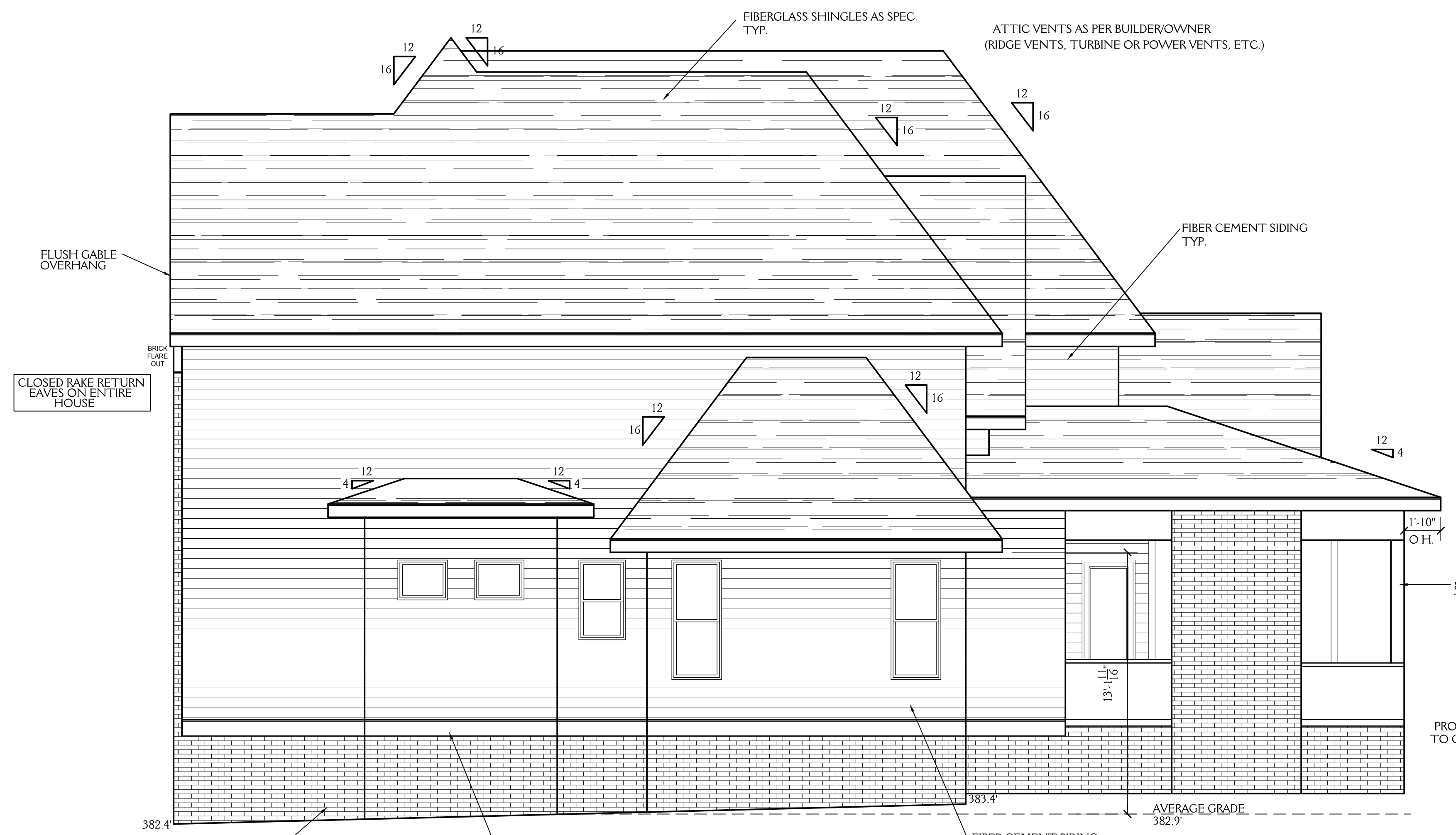
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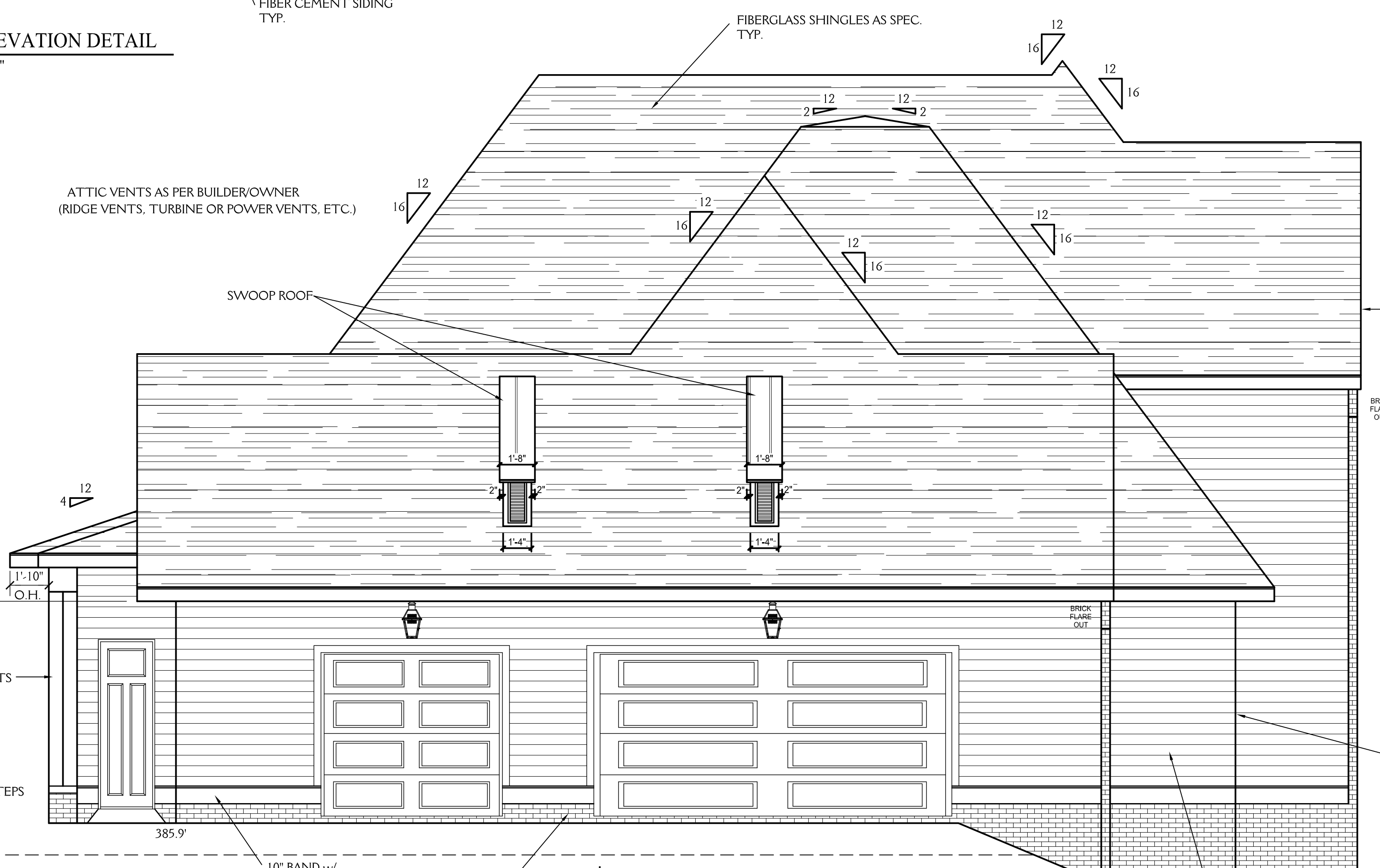
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RIGHT ELEVATION DETAIL
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LEFT ELEVATION DETAIL
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LIMITED CONSTRUCTION LICENSE

UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER AGREES TO THE FOLLOWING TERMS:

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THIS PLAN AND ITS DESIGN COMPOSITION IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ENFORCED BY COPYRIGHT ATTORNEYS BROTE & PERALTTI P.C. BIRMINGHAM, ALABAMA.

UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER AGREES TO THE FOLLOWING TERMS: J&W CUSTOM HOMES

AS THE ORIGINAL PURCHASER OF PLAN #3734-2797-0723 IS HEREBY GRANTED A LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DEPICTED IN THIS PLAN. USE OF THIS PLAN TO BUILD MORE THAN ONE (1) HOME OR ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED AND IS ENFORCED AND PROTECTED BY FEDERAL COPYRIGHT LAWS. UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

BUILDING PERMIT *** COPYRIGHT WARNING *** DO NOT ISSUE BUILDING PERMIT ON THIS PLAN WITHOUT COPYRIGHT LOGO STAMP. UNAUTHORIZED USERS OF THIS HOME PLAN WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW THAT PROTECTS THE USE OF THIS DOCUMENT.

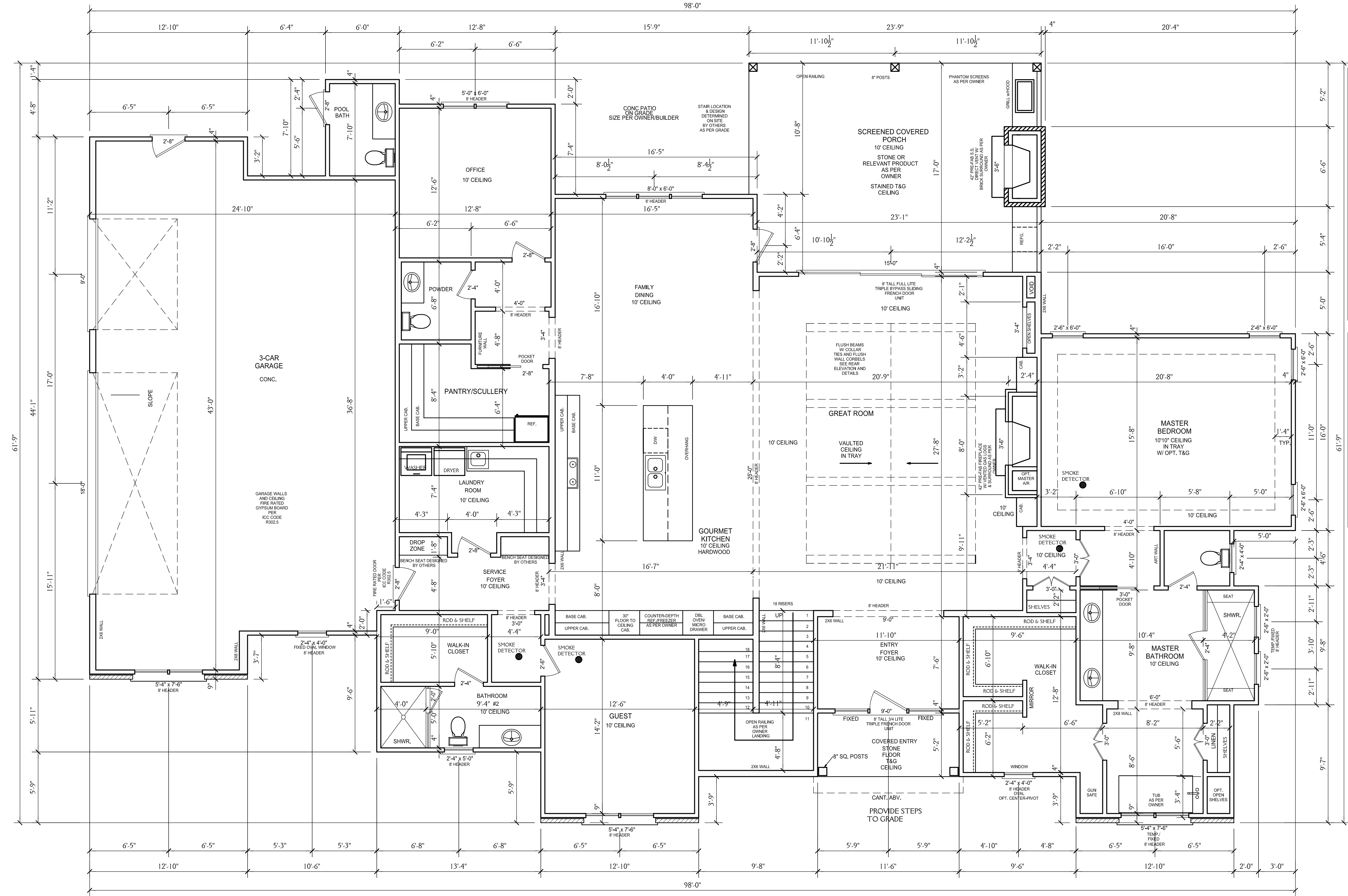
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PROFESSIONAL MEMBER FRUSTERIO.COM DESIGNER OF THE SOUTHERN LIVING IDEA HOUSE

QUESTIONS ON THIS PLAN 866-225-8111

J&W CUSTOM HOMES
601 DAVIDSON DR/ RALEIGH, NC
JOB #3734-2797-0723

CUSTOM HOME DOCUMENTS
DESIGN DATE: July 18, 2023
PLOTTING TIME: 06:11 AM
SHEET 317



**IMPORTANT INFORMATION:
PLEASE READ CAREFULLY
**** BEFORE STARTING CONSTRUCTION ******

IT IS THE RESPONSIBILITY OF THE BUILDER TO COMPLY WITH AND ADAPT THIS PLAN TO SATISFY THE APPLICATION INTERNATIONAL RESIDENTIAL CODE (IRC) AND ENERGY CODE REQUIREMENTS AS WELL AS LOCAL BUILDING CODES WHERE THIS HOME PLAN IS CONTRACTED AND ADAPT THIS PLAN TO ITS ACTUAL SITE LOCATION.

THIS HOME AND ITS DESIGN MUST BE CONSTRUCTED BY A LICENSED AND REPUTABLE BUILDER WITH EXPERIENCE IN CONSTRUCTING THIS TYPE OF HOME.

ALL SUB-CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK REQUIRED. FRUSTERIO DESIGN, INC. ASSUMES NO LIABILITY FOR ANY ERRORS IN THIS PLAN.

IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW AND PERFORM ALL DUE DILIGENCE ON THIS PLAN AND NOTIFY FRUSTERIO DESIGN, INC. OF ANY CONCERNS PRIOR TO BEGINNING CONSTRUCTION.

THE SELECTION AND CONDITION OF LUMBAR USED IN CONSTRUCTION MAY VARY WIDELY, AS DOES THE QUALITY OF THE WORKMANSHIP. NEITHER FRUSTERIO DESIGN, INC. OR ITS MEMBERS HAVE KNOWLEDGE OF THE QUALITY OF THE WORKMANSHIP OR CONSTRUCTION METHODS AND PRACTICES USED ON ANY CONSTRUCTION PROJECT AND IS THEREFORE HELD HARMLESS FROM THE DESIGN OR PERFORMANCE OF THE LUMBAR IN COMPLETED STRUCTURES.

ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST MEET CURRENT INT CODE REQUIREMENTS, CERTIFIED & DESIGNED BY THE MANUFACTURER OR BY A LICENSED STRUCTURAL ENGINEER.

ANY STRUCTURAL & FLOOR JOIST NOTATION ON THIS PLAN IS INTENDED FOR PURPOSES OF DESIGN ONLY & IN NO WAY INDICATES FINAL STRUCTURAL REQUIREMENTS FOR LOAD BEARING LOCATIONS WHICH ARE DESIGNED BY OTHERS.

ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBAR MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

EASEMENTS & SETBACKS AS DETERMINED BY A LICENSED SURVEYOR. IT IS RECOMMENDED THAT A CERTIFIED STRUCTURAL ENGINEER REVIEW THE FRAMING CONSTRUCTION TO VERIFY STRUCTURAL INTEGRITY.

THESE PLANS DO NOT SHOW OR SUGGEST FINAL REQUIRED CONSTRUCTION PRACTICES.

THESE PLANS ARE FOR UNUSUAL CONDITIONS & DO NOT ADDRESS SPECIFIC SITE REQUIREMENTS. IT IS RECOMMENDED THAT SOIL CONDITIONS AT SITE BE SAMPLED & TESTED BY A COMPETENT SOILS TESTING LABORATORY AND, IF NECESSARY, FOUNDATION PLAN AND BE MODIFIED BY A STRUCTURAL ENGINEER WHO IS FAMILIAR WITH THE BUILDING SITE CONDITIONS & BE BASED ON RECOMMENDATIONS OF THE SOILS TESTING LABORATORY.

COMPARE DIMENSIONS WITH FLOOR AND VERIFY ALL DIMENSIONS, INCLUDING COMPARISON OF FLOOR PLANS AND FOUNDATION TO INSURE ACCURACY PRIOR TO THE BEGINNING OF CONSTRUCTION. TO THE BEST OF HIS KNOWLEDGE, THE DESIGNER HAD PREPARED THESE PLANS TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND GENERAL BUILDING CODES AT THE TIME, ALTHOUGH EVERY REASONABLE EFFORT HAS BEEN MADE TO AVOID ERRORS, OMISSIONS, AND MISTAKES. THE CONTRACTOR AND/OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS.

IT IS THE RESPONSIBILITY OF THE LUMBAR SUPPLIER TO DETERMINE, CALCULATE, ENGINEER, AND CERTIFY ALL LOAD BEARING LOCATIONS ON THIS PLAN AND PROVIDE THE REQUIRED LUMBAR AND BEAM MATERIAL TO SUBSTANTIALLY SUPPORT THE STRUCTURAL INTEGRITY OF THIS PLAN.

FRUSTERIO DESIGN, INC. IS A RESIDENTIAL DESIGN FIRM AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THIS PLAN, CONSTRUCTION PRACTICES, OR THE FINAL PLACEMENT OF THIS HOME ON ITS SITE.

SOME STATES AND/OR LOCAL BUILDING CODES MAY REQUIRE A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT'S CERTIFICATION STAMP BEFORE BUILDING PERMITS CAN BE ISSUED.

GENERAL FOUNDATION NOTES:

REQUIRED GRADE BEAM LOCATIONS DETERMINED BY OTHERS.

ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST BE CERTIFIED AND/OR DESIGNED BY THE MANUFACTURER & BY A LICENSED STRUCTURAL ENGINEER.

ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBAR MANUFACTURER AND BY A LICENSED STRUCTURAL ENGINEER.

OUTER EDGES OF FOOTINGS SHALL NOT BE POURED WITHIN 20'-0" OF THE EDGE OF ANY FILL SLOPE. BOTTOM OF ALL FOOTINGS SHOULD BE 36" BELOW GRADE OR MEET ALL LOCAL BUILDING CODE REQUIREMENTS.

PLEASE REFERENCE FIRST FLOOR PLUMBING LOCATIONS BEFORE CONSTRUCTION.

IMPORTANT CARPENTER NOTES:

SET ALL DORMERS, KNEE WALLS AND ROOF RAFTERS BEFORE FRAMING INTERIOR ATTIC ROOMS. A MINIMUM WALL HEIGHT OF 5' 0" IS REQUIRED. SLOPE UP TO 9' 0" FLAT CEILING UNLESS OTHERWISE INDICATED.

DOUBLE JOIST ALL NON-LOAD BEARING WALLS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.

BASEMENT WALL SUPPORTING LOADS FROM THE FIRST AND SECOND FLOOR MUST BE CONSTRUCTED TO MEET INTERNATIONAL RESIDENTIAL CODES.

ENGINEERED LAMINATED BEAMS AND FLOOR SYSTEMS SHOULD BE DESIGNED, ENGINEERED AND MANUFACTURED BY GEORGIA-PACIFIC, BOISE CASCADE, OR OTHER ENGINEERED PRODUCT MANUFACTURER.

REFERENCE NOTED DISCLAIMERS AND RECOMMENDATIONS.

IMPORTANT: REFERENCE ALL EXTERIOR FRAMING WITH "FRONT PROPORTIONS & DETAIL" SHEET FOR ELEVATION PROPORTIONS.

PLACE ALL HEADERS AT THE TOP AND SCAB DOWN TO WINDOW HEIGHT.

PLEASE NOTE DOUBLE WALLS AND DOUBLE 2X4 STUD WALLS. ALSO NOTE ANY KNEE WALLS FOR CORRECT FRONT PROPORTIONS.

REFERENCE ALL WINDOWS FROM PLAN WITH FRONT ELEVATIONS.

FLASH ALONG ALL BRICK CHIMNEY STACKS AT ROOF, AGAINST FRAMING STACK AND BRICK ABOVE FLASHING.

GENERAL WINDOW NOTES:

TEMPERED WINDOWS WHERE REQUIRED AS PER CODE.

FIXED WINDOWS WHERE APPLICABLE AS PER CODE/OWNER.

EGRESS WINDOWS WHERE REQUIRED AS PER CODE.

WINDOW SIZES/ROUGH OPENINGS MAY VARY BY MANUFACTURER ADJUST HEADER ACCORDINGLY PRIOR TO CONSTRUCTION DETERMINED BY OTHERS.

IMPORTANT NOTES ON HOME APPEARANCE:

CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTIONS.

SCALE ALL STUCCO DETAILS FROM THE ELEVATION DRAWINGS.

REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.

NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.

REFERENCE ALL WINDOWS ON FLOORPLAN WITH ELEVATIONS & NOTIFY OWNER AND/OR DESIGNER OF ANY DISCREPANCIES BEFORE ORDERING WINDOW PACKAGE.

NOTED WINDOW SIZES AS SHOWN ON THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURERS WINDOW SIZES.

CHANGE IN WINDOW SIZES SHOULD CLOSELY MATCH WINDOWS SHOWN ON ELEVATIONS.

3110 SQ FT HTD (1ST FLOOR)	400 SQ FT (SCREEN PORCH)
1982 SQ FT HTD (2ND FLOOR)	59 SQ FT (ENTRY)
5092 SQ FT HTD TOTAL	45 SQ FT (POOL BATH)
	307 SQ FT (STORAGE)
	1005 SQ FT (GARAGE)
	1816 UNHEATED TOTAL

FIRST FLOOR DETAIL CONSTRUCTION SHEET
SCALE: 1/4" = 1'-0"

LIMITED CONSTRUCTION LICENSE

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J&W CUSTOM HOMES
601 DAVIDSON DR/ RALEIGH, NC

PROJECTS ONLY.
USE FOR BUILD ON ANY OTHER
LOCATION IS IN VIOLATION OF
PLAN COPYRIGHT

GENERAL WINDOW NOTES:

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FIXED WINDOWS WHERE APPLICABLE AS PER CODE/OWNER.

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NOTE:

ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/BUILDER BEFORE CONSTRUCTION BEGINS. ONCE CONSTRUCTION HAS BEGUN, DESIGNER IS RELEASED FROM ANY AND ALL LIABILITY ASSOCIATED WITH THE CONSTRUCTION OF THIS CUSTOM RESIDENCE. THIS PLAN IS DESIGNED UNDER THE 2018 NORTH CAROLINA RESIDENTIAL CODE

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UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER AGREES TO THE FOLLOWING TERMS: JAW CUSTOM HOMES

AS THE ORIGINAL PURCHASER OF PLAN #3734-2797-0723, I HEREBY GRANTED A LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DEPICTED IN THIS PLAN. USE OF THIS PLAN TO BUILD MORE THAN ONE (1) HOME OR ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED AND IS ENFORCED BY FEDERAL COPYRIGHT LAWS. UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

BUILDING PERMIT - COPYRIGHT HAWKING

DO NOT ISSUE BUILDING PERMIT ON THIS PLAN WITHOUT COPYRIGHT LOOSE STAMP.

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FRUSTERIO.COM
DESIGNER OF THE SOUTHERN LIVING IDEA HOUSE

PROFESSIONAL NUMBER IS BUILT AND THROUGH UNDERSTANDING

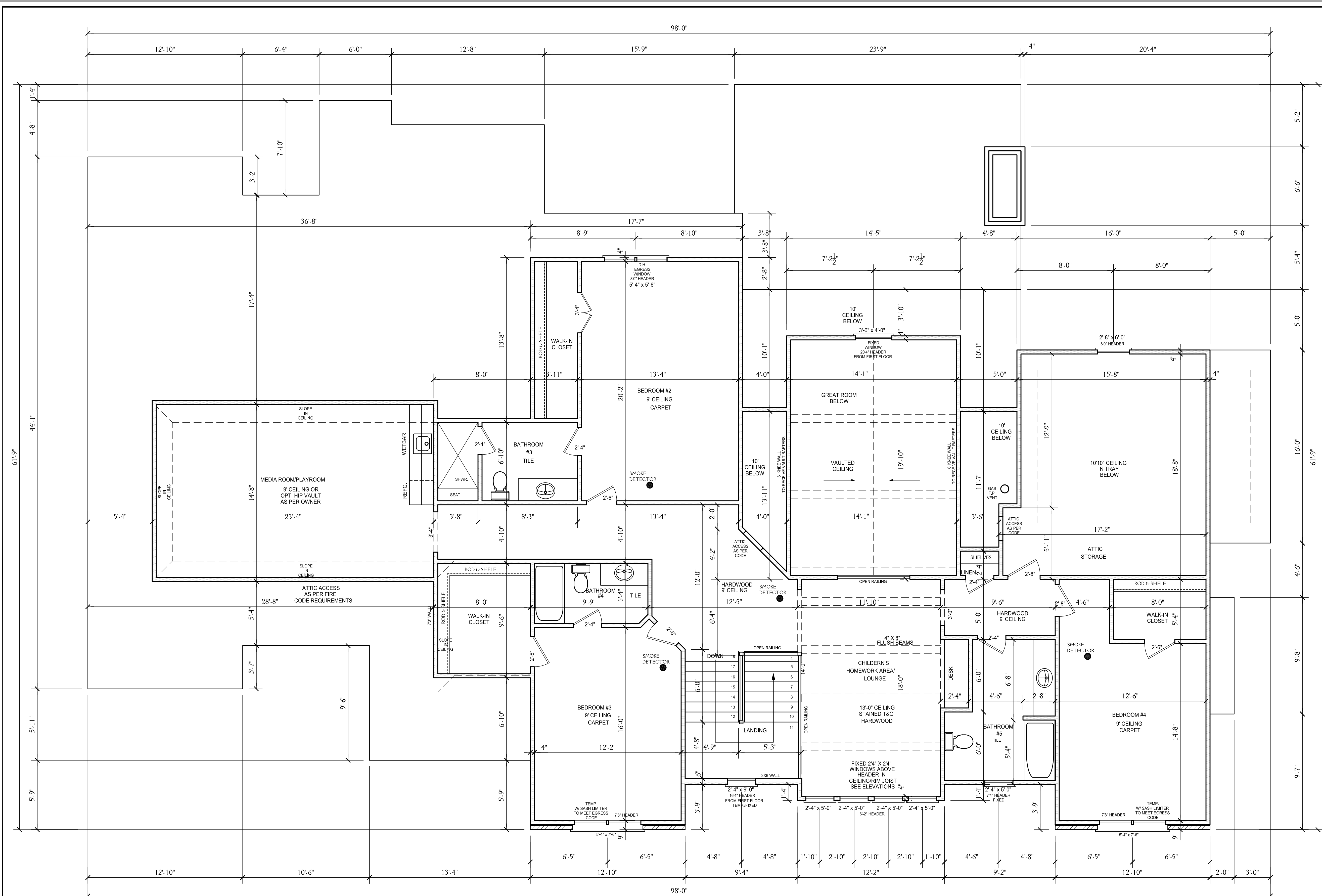
QUESTIONS ON THIS PLAN 866-225-8111

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J&W CUSTOM HOMES
601 DAVIDSON DR/ RALEIGH, NC
JOB #3734-2797-0723

CUSTOM HOME DOCUMENTS

DESIGN DATE: July 18, 2023
PLOTTING TIME: 06:11 AM
SHEET # 4/7



SECOND FLOOR DETAIL CONSTRUCTION SHEET
SCALE: 1/4"=1'-0"

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SITE REQUIREMENTS

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DOUBLE JOIST ALL NON-LOAD BEARING WALLS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.

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REFERENCE NOTED DISCLAIMERS AND RECOMMENDATIONS.

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GENERAL WINDOW NOTES:

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FIXED WINDOWS WHERE APPLICABLE AS PER CODEOWNER.

EGRESS WINDOWS WHERE REQUIRED AS PER CODE.

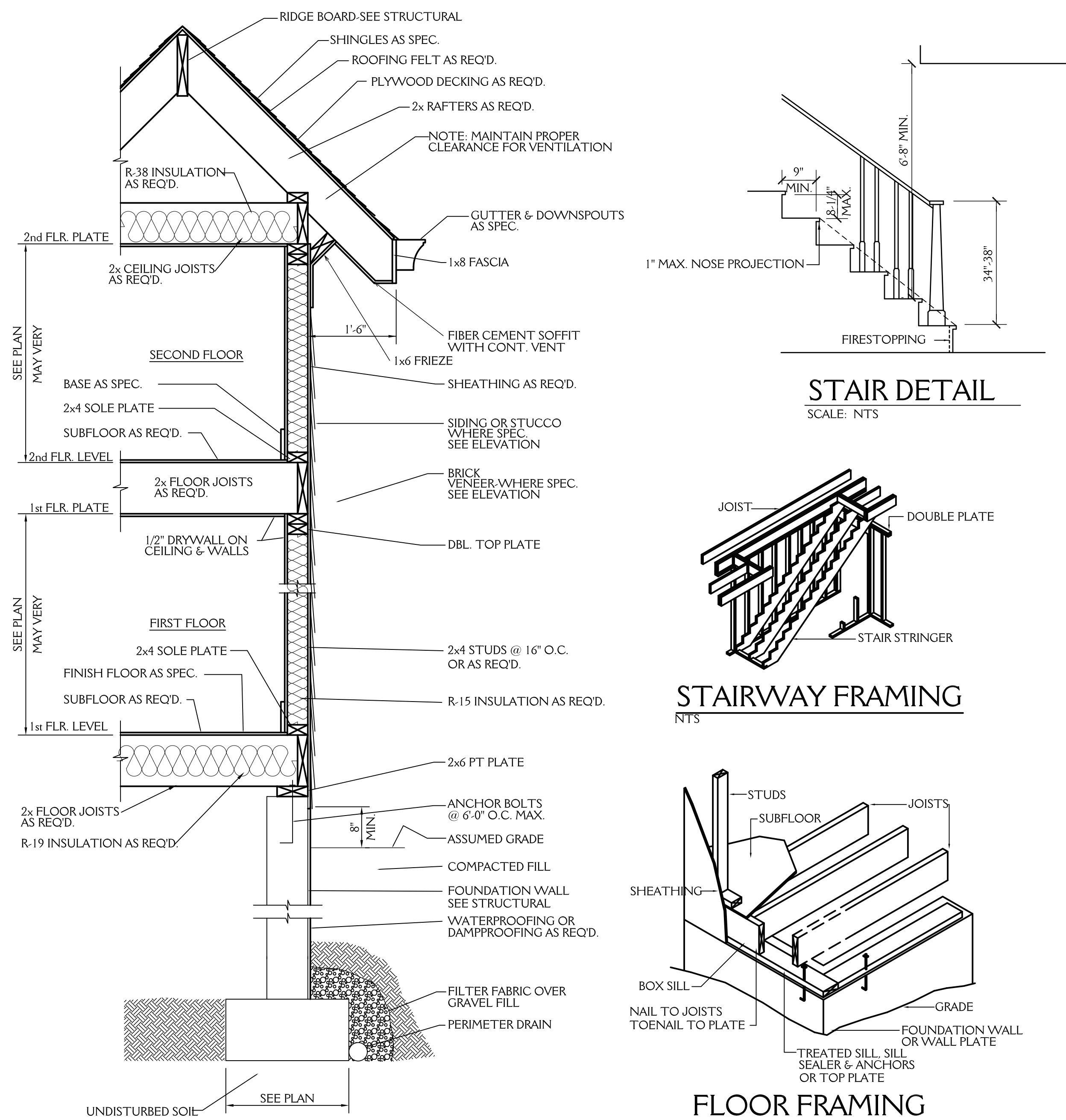
WINDOW SIZES/ROUGH OPENINGS MAY VARY BY MANUFACTURER ADJUST HEADER ACCORDINGLY PRIOR TO CONSTRUCTION DETERMINED BY OTHERS.

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THIS PLAN IS FOR BUILD FOR
J&W CUSTOM HOMES
601 DAVIDSON DR/ RALEIGH, NC

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USE FOR BUILD ON ANY OTHER
LOCATION IS IN VIOLATION OF
PLAN COPYRIGHT

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UNAUTHORIZED USERS OF THIS HOME PLAN WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.
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PROFESSIONAL MEMBER
BY WISCONSIN HOUSE BUILT THROUGH UNDERSTANDING
IT IS ESTABLISHED - PROVERBS 13:3
FRUSTERIO.COM
SOUTHERN LIVING IDEA HOUSE
QUESTIONS ON THIS PLAN
866-225-8111
JOB # 3734-2797-0723
CUSTOM HOME DOCUMENTS
DESIGN DATE: July 18, 2023
PLOTTING TIME: 06:11 AM
SHEET # 517



TYPICAL WALL SECTION
3/4" = 1'-0"

ROOF VENT CALCS

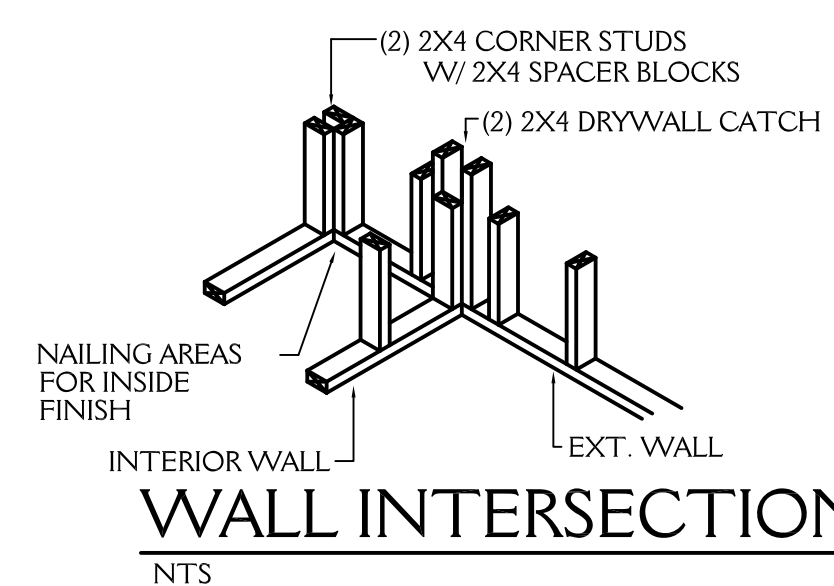
4623 SQ.FT. / 150 = 30.82 SQ.FT. REQ'D

BUILDER TO PROVIDE APPROPRIATE VENTILATION AS REQUIRED BY CODE
SEE SECTION R806 OF THE 2018 NC RESIDENTIAL BLDG. CODE

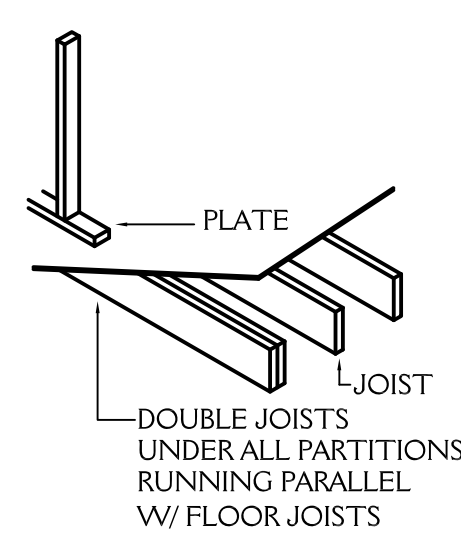
FND VENT CALCS

2930 SQ.FT. / 150 = 19.53 SQ.FT. REQ'D

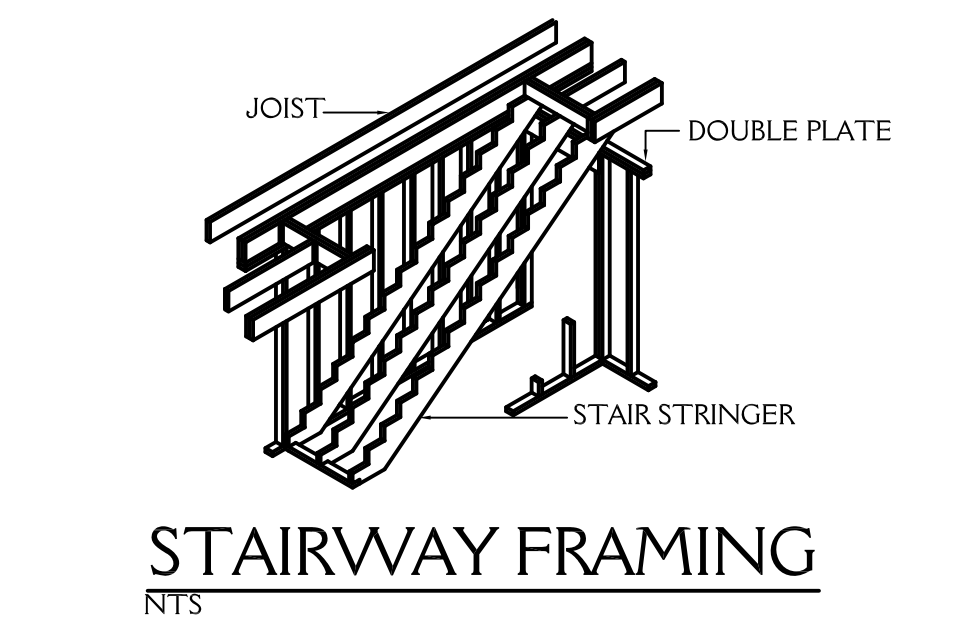
BUILDER TO PROVIDE APPROPRIATE VENTILATION AS REQUIRED BY CODE
SEE SECTION R408 OF THE 2018 NC RESIDENTIAL BLDG. CODE



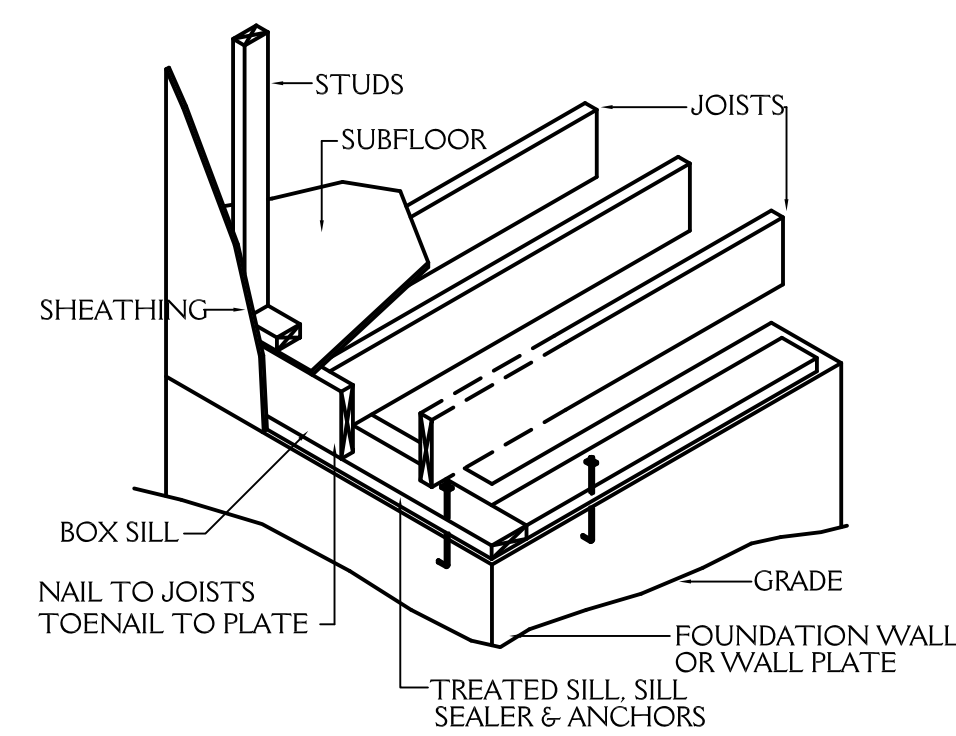
WALL INTERSECTION
NTS



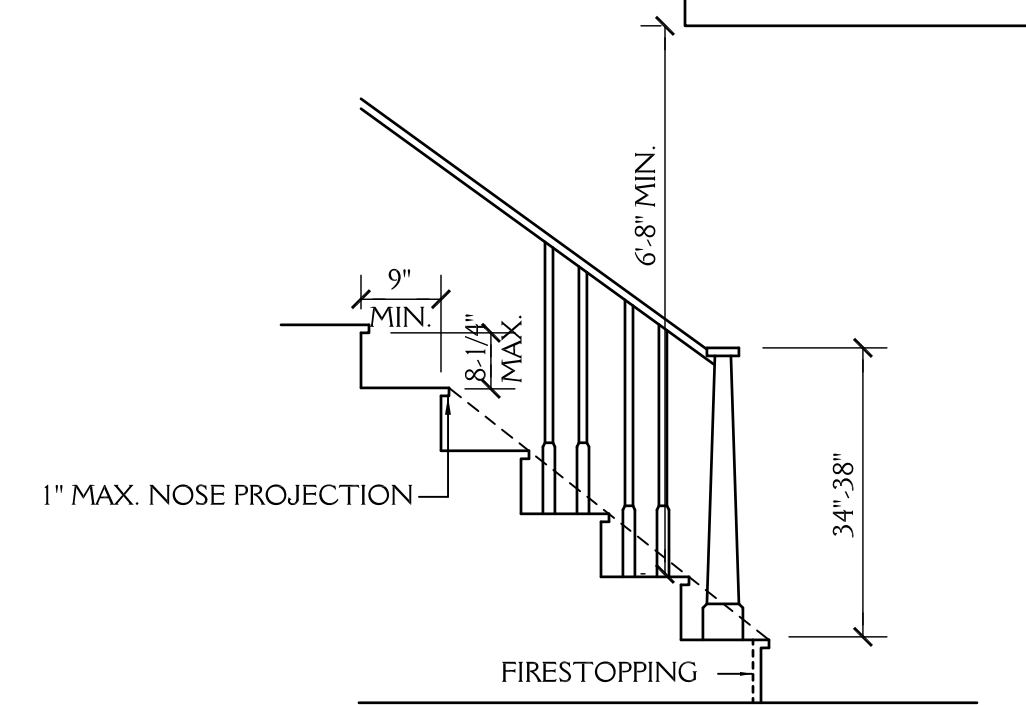
PARALLEL PARTITION
NTS



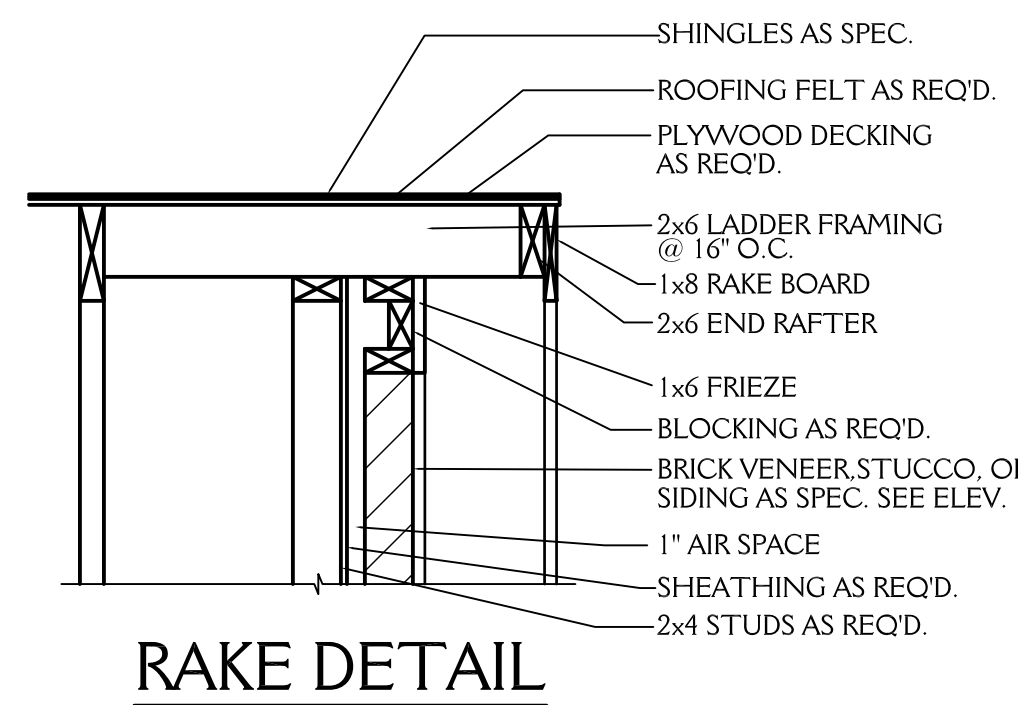
STAIRWAY FRAMING
NTS



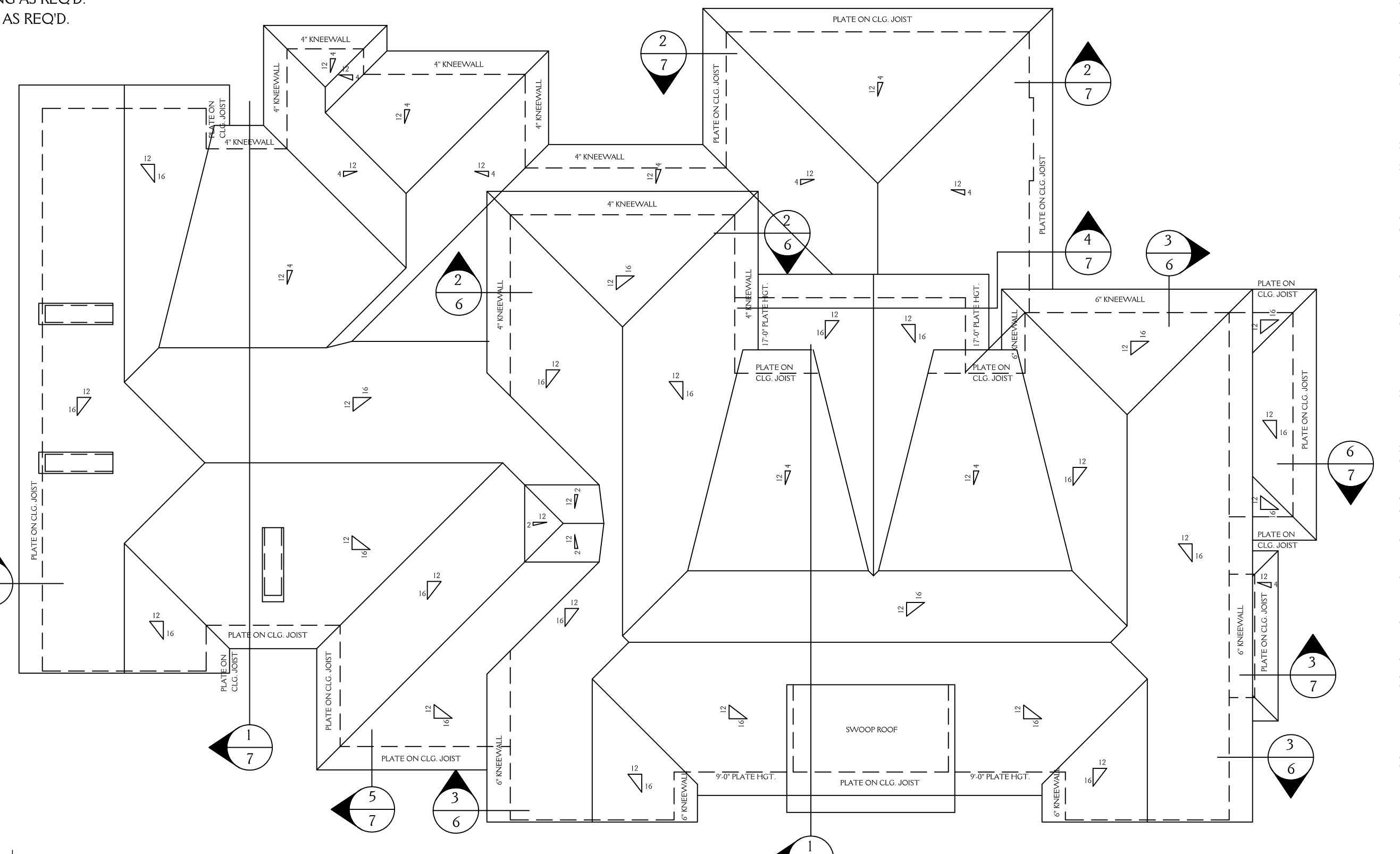
FLOOR FRAMING
NTS



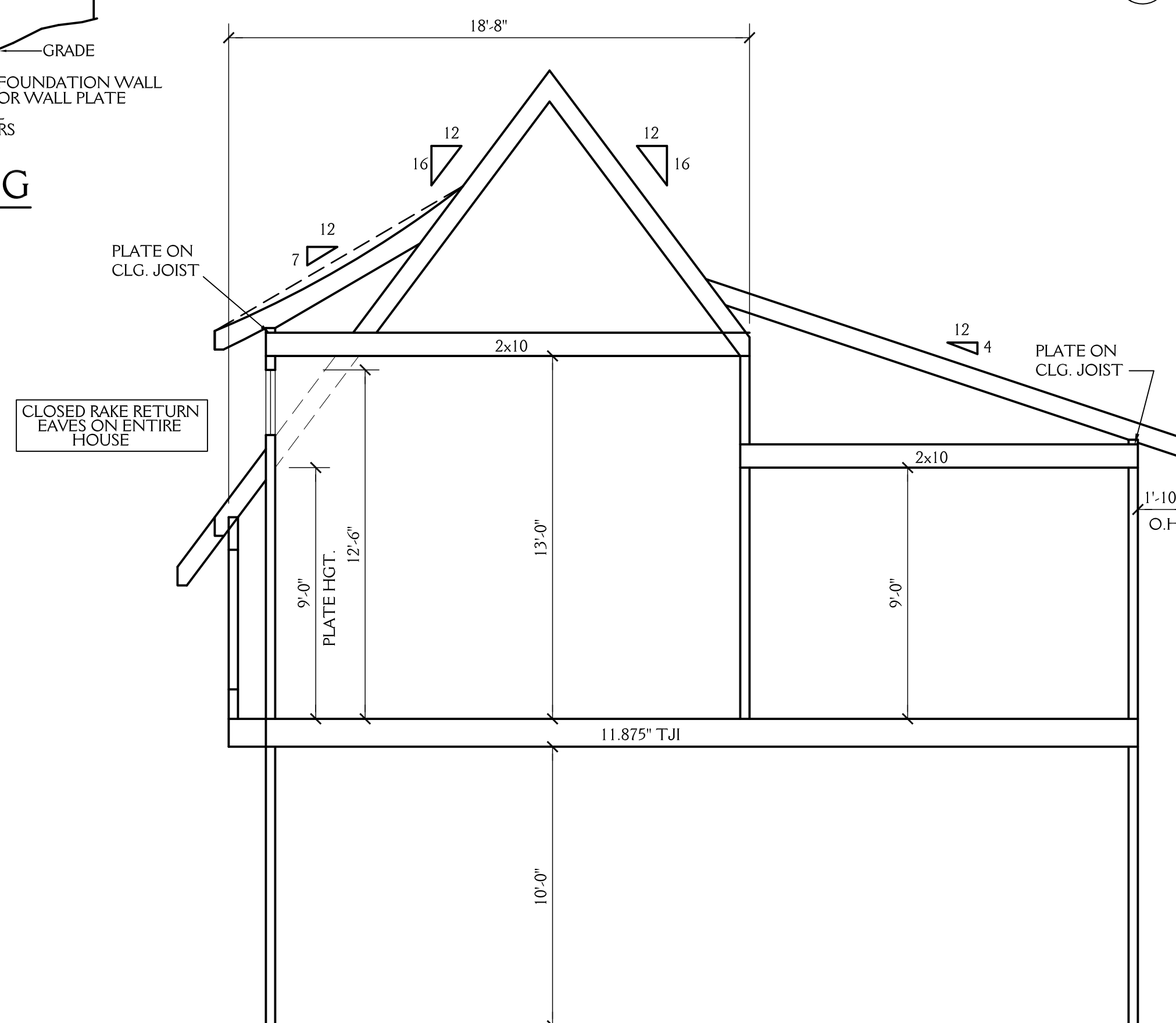
STAIR DETAIL
SCALE: NTS



RAKE DETAIL
3/4" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"



1 SCHEMATIC SECTION
SCALE 1/4" = 1'-0"

2 SCHEMATIC SECTION
SCALE 1/4" = 1'-0"

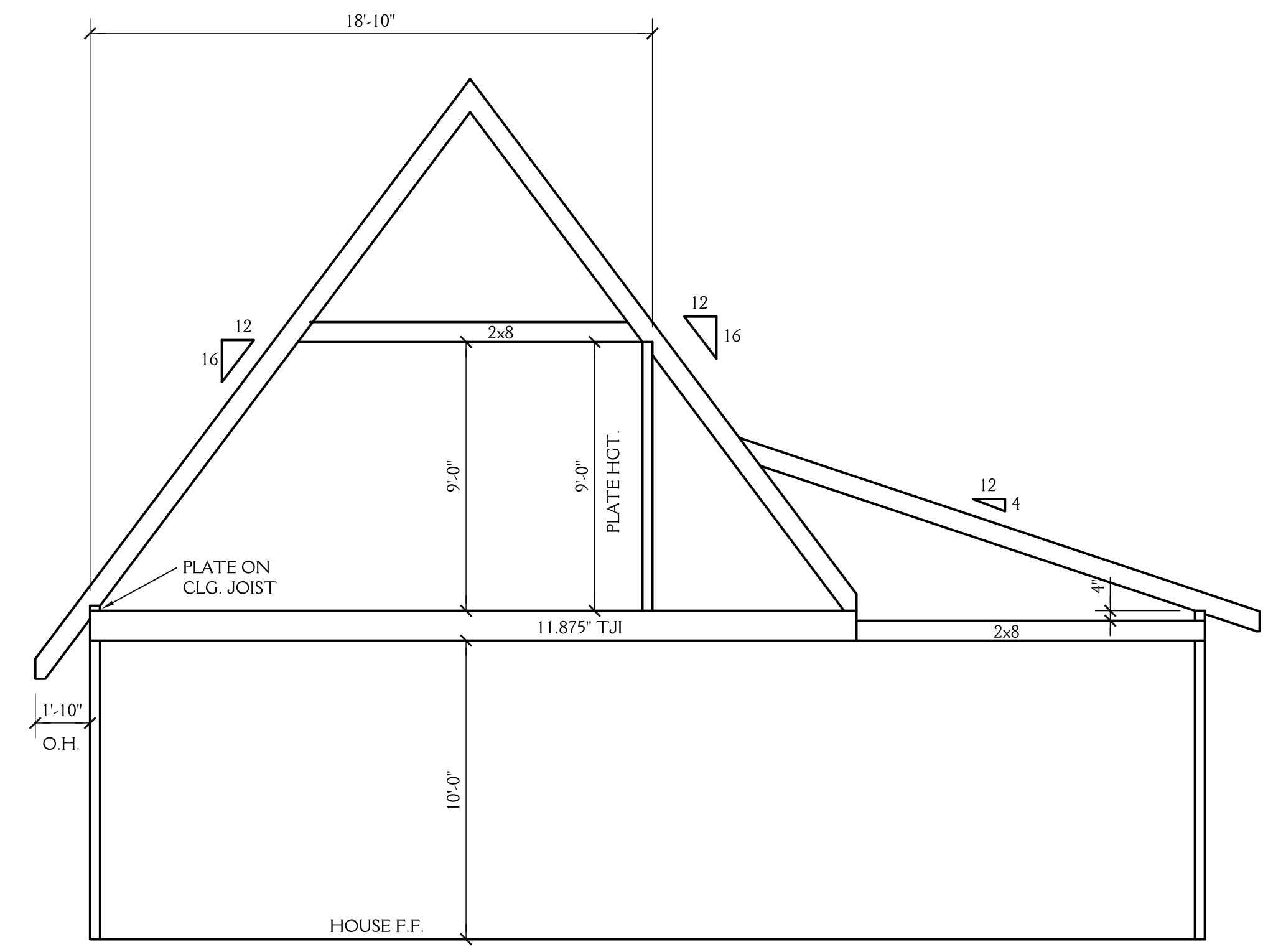
3 SCHEMATIC SECTION
SCALE 1/4" = 1'-0"

NOTE:

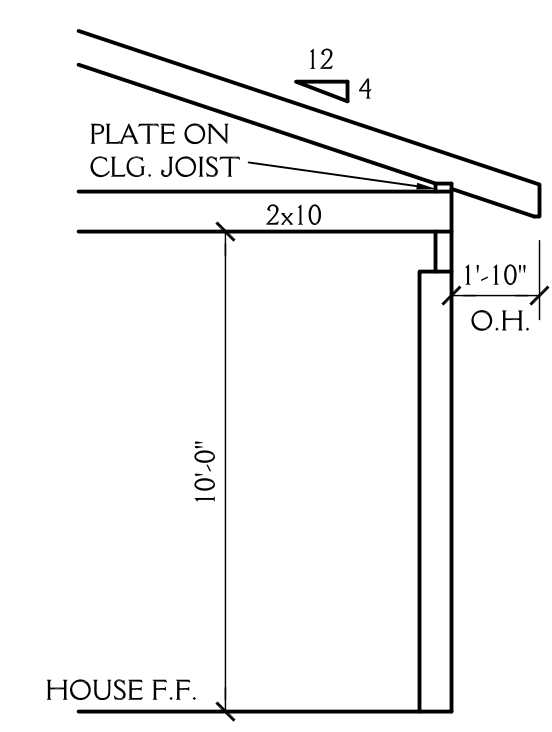
ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/BUILDER BEFORE CONSTRUCTION BEGINS. ONCE CONSTRUCTION HAS BEGUN, DESIGNER IS RELEASED FROM ANY AND ALL LIABILITY ASSOCIATED WITH THE CONSTRUCTION OF THIS CUSTOM RESIDENTIAL. THIS PLAN IS DESIGNED UNDER THE 2018 NORTH CAROLINA RESIDENTIAL CODE

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 UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER AGREES TO THE FOLLOWING TERMS:
 AS THE ORIGINAL PURCHASER OF PLAN #3734-2797-0723 IS HEREBY GRANTED A LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DEPICED IN THIS PLAN TO USE OF THIS PLAN TO BUILD OR CONSTRUCT ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.
 FRUSTERIO.COM
 SOUTHERN LIVING IDEA HOUSE
 DESIGNER OF THE
 SOUTHERN LIVING IDEA HOUSE
 QUESTIONS ON THIS PLAN 866-225-8111
 J&W CUSTOM HOMES
 601 DAVIDSON DR / RALEIGH, NC
 JOB #3734-2797-0723
 CUSTOM HOME DOCUMENTS
 DESIGN DATE: July 18, 2023
 PLOTTING TIME: 06:11 AM
 SHEET # 617

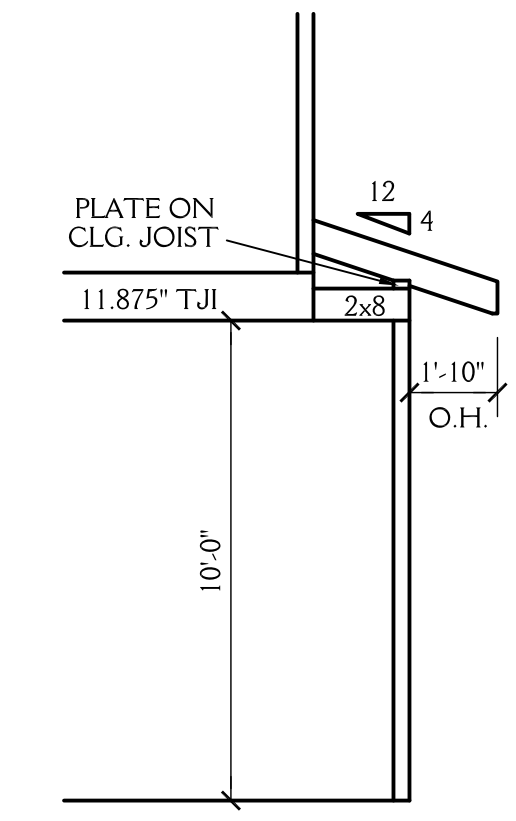
NOTE: ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/BUILDER BEFORE CONSTRUCTION BEGINS. ONCE CONSTRUCTION HAS BEGUN, DESIGNER IS RELEASED FROM ANY AND ALL LIABILITY ASSOCIATED WITH THE CONSTRUCTION OF THIS CUSTOM RESIDENCE. THIS PLAN IS DESIGNED UNDER THE 2018 NORTH CAROLINA RESIDENTIAL CODE



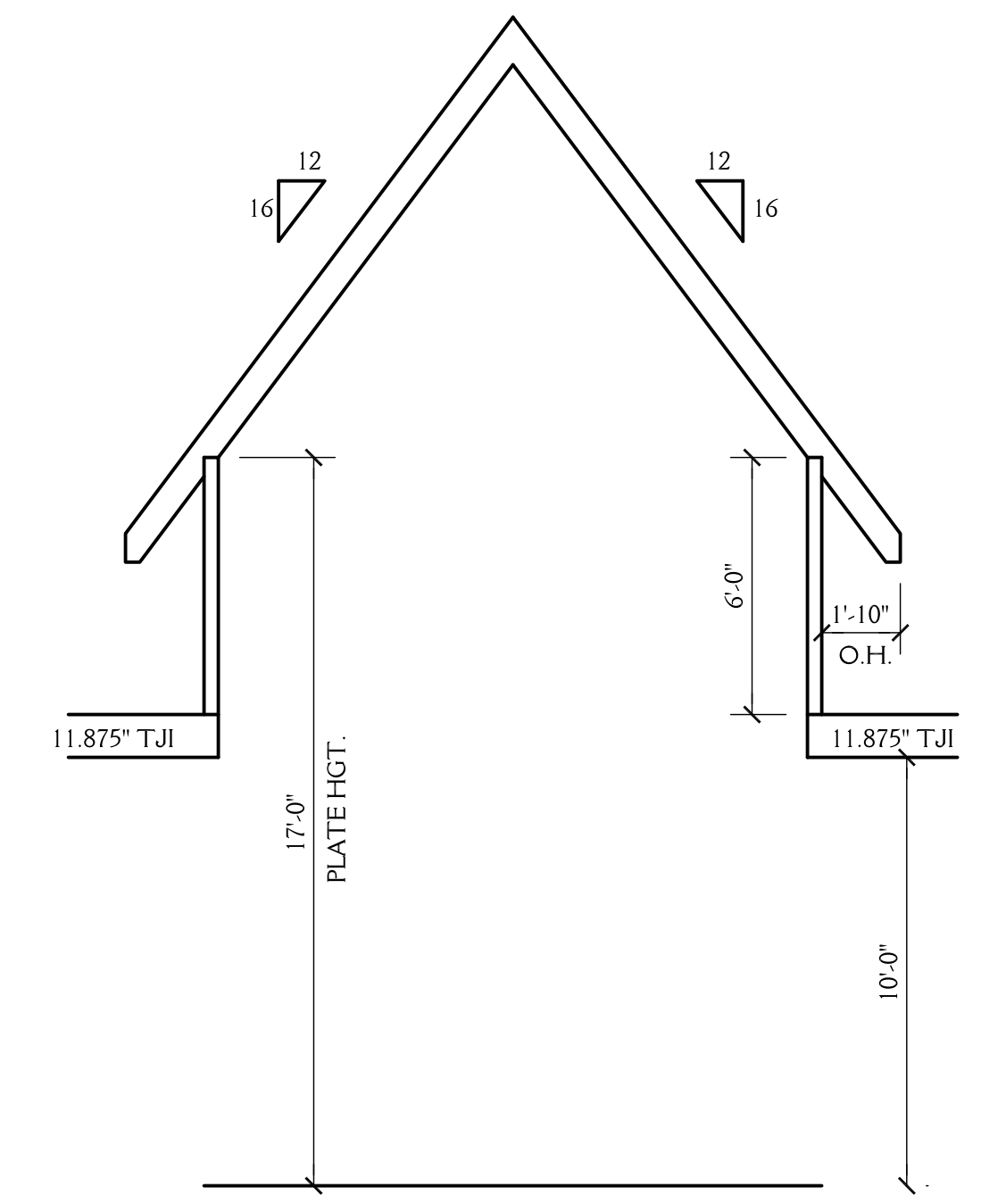
1/7 SCHEMATIC SECTION
SCALE 1/4"=1'-0"



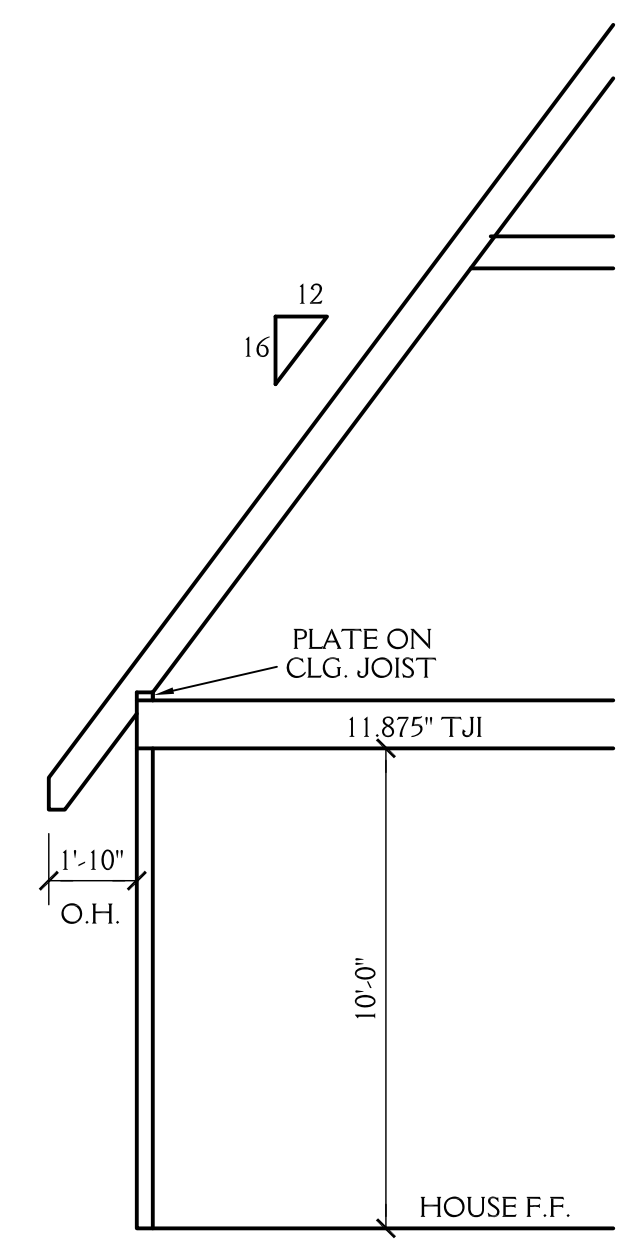
2/7 SCHEMATIC SECTION
SCALE 1/4"=1'-0"



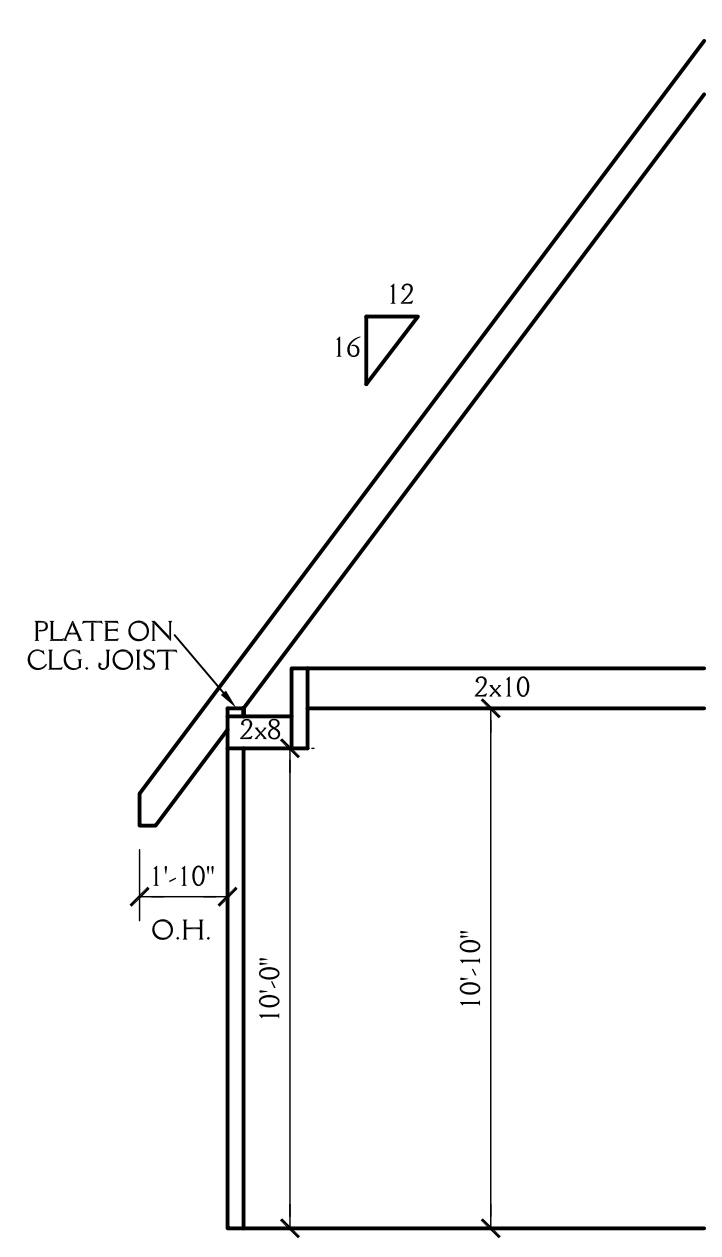
3/7 SCHEMATIC SECTION
SCALE 1/4"=1'-0"



4/7 SCHEMATIC SECTION
SCALE 1/4"=1'-0"



5/7 SCHEMATIC SECTION
SCALE 1/4"=1'-0"



6/7 SCHEMATIC SECTION
SCALE 1/4"=1'-0"

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UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER STATED BELOW AGREES TO THE FOLLOWING TERMS: JAW CUSTOM HOMES

AS THE ORIGINAL PURCHASER OF PLAN "J&W2797-0723", I HEREBY GRANTED A LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DERIVED IN THIS PLAN USE OF THIS PLAN TO BUILD ONE HOME OR ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

UNAUTHORIZED USERS OF THIS HOME PLAN WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW THAT PROTECTS THE USE OF THIS DOCUMENT.

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BUILDING PERMIT - COPY RIGHT WARNING
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UNAUTHORIZED USERS OF THIS HOME PLAN WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW THAT PROTECTS THE USE OF THIS DOCUMENT.

PROFESSIONAL MEMBER
BY WISCONSIN A HOUSE IS BUILT AND THROUGH UNDERSTANDING IT IS ESTABLISHED - PROVERBS 24:3

FRUSTERIO.COM
DESIGNER OF THE
SOUTHERN LIVING IDEA HOUSE

QUESTIONS ON THIS PLAN 866-225-8111

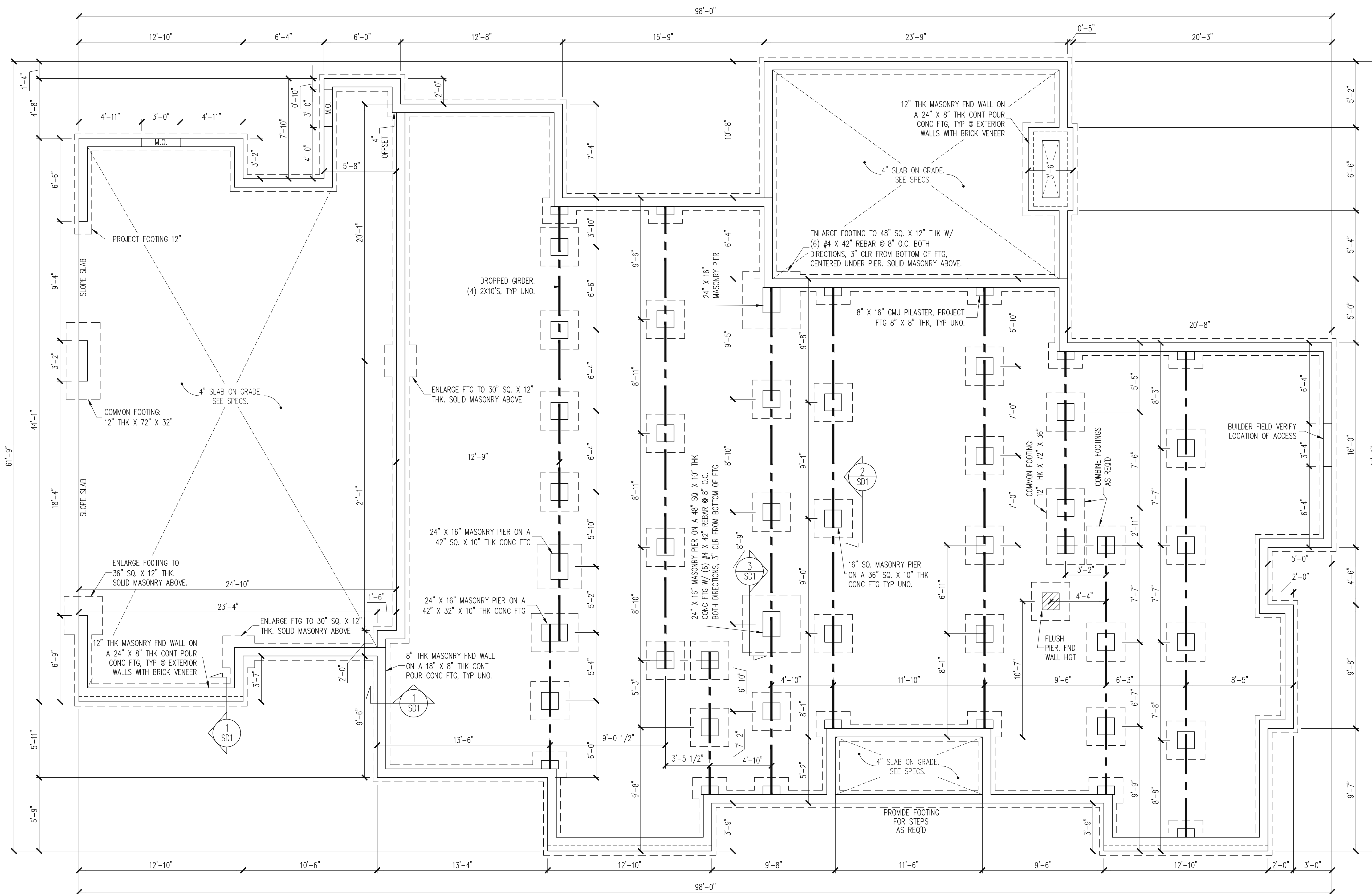
J&W CUSTOM HOMES
601 DAVIDSON DR/ RALEIGH, NC
JOB #3734-2797-0723

CUSTOM HOME DOCUMENTS

DESIGN DATE: July 18, 2023
PLOT TIME: 06:11 AM

SHEET # 717

UNLAWFUL TO REPRODUCE OR CONSTRUCT



CONSTRUCTION SPECIFICATIONS
 INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

FOUNDATION SCHEDULE

F1

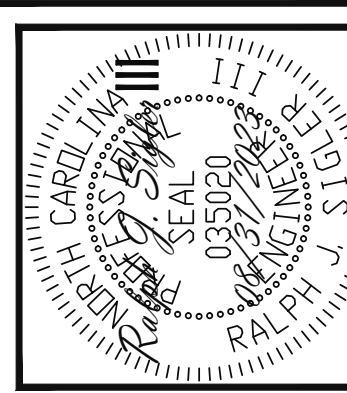
NOTES:

- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
- BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSIONS OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.

FOUNDATION PLAN

1/4" = 1'-0"

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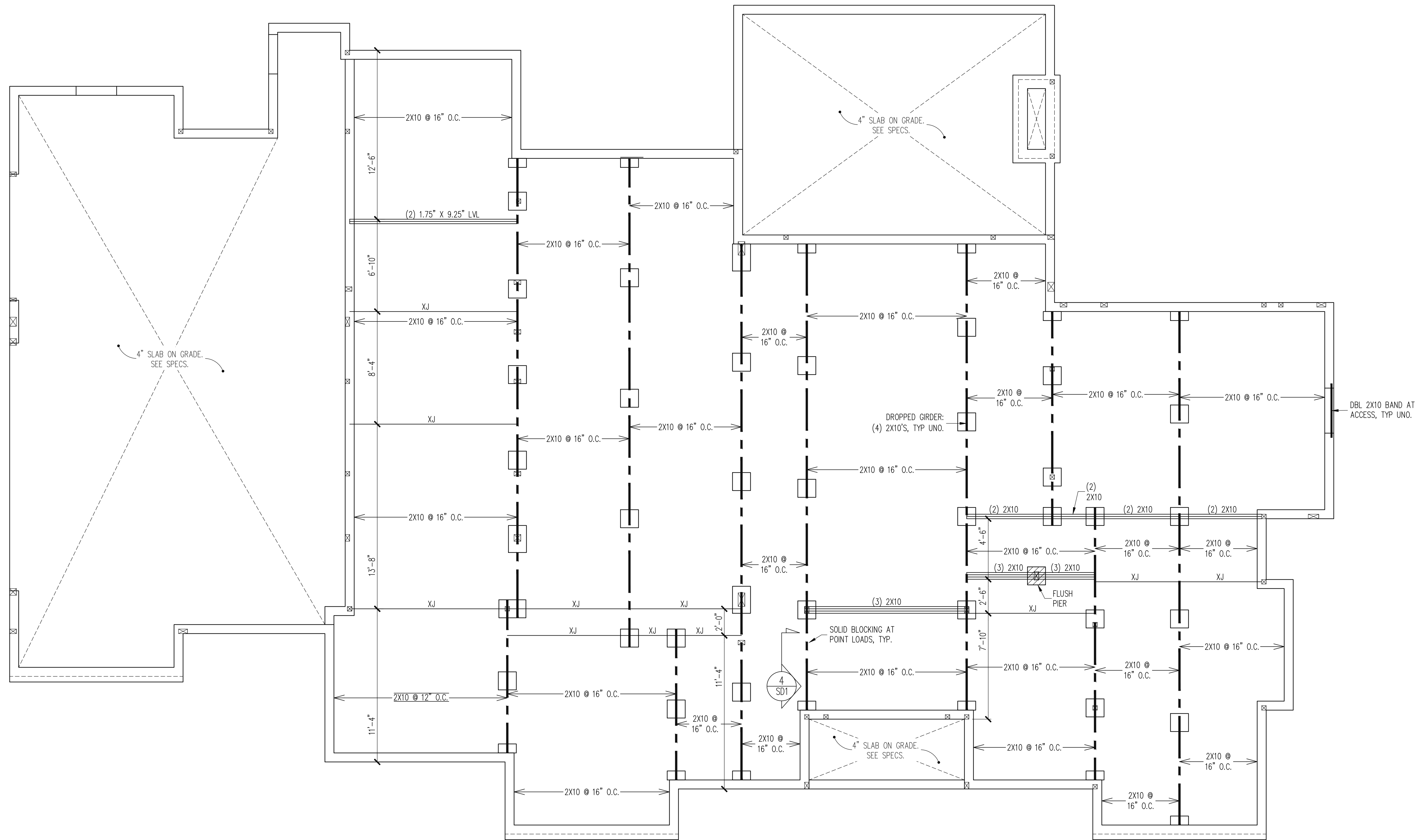
Engineering Tech Associates, P.A.

J&W CUSTOM HOMES	SCOPE:	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM	LOC:			
			601 DAVIDSON	

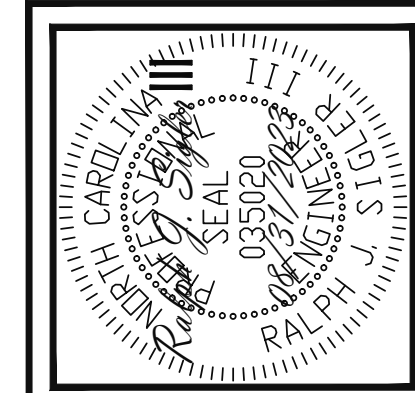
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PROJECT NO.:
 23-17-018

SHEET NO.:
 S1
 1 of 6



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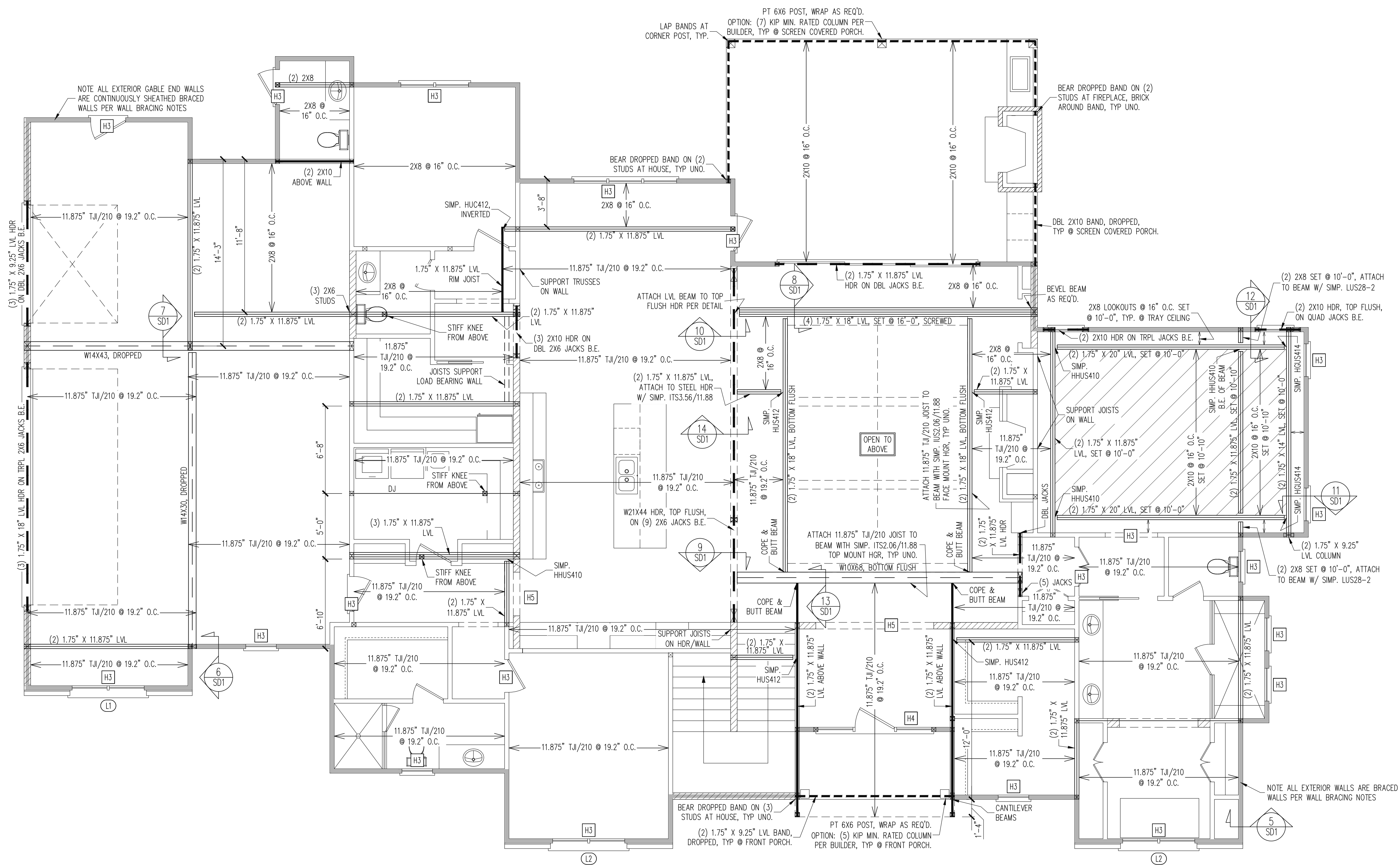
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SCOPE	J&W CUSTOM HOMES
LOC	601 DAVIDSON
REV #	REF PROJ #
DATE	DATE

ENC: CIB/RJS
 DATE 08/31/2023

PROJECT NO.
 23-17-018

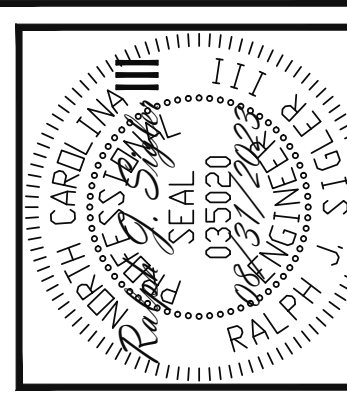
SHEET NO.
 S2
 2 of 6



WALL BRACING	
SHADED WALLS:	
ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.	
NOTES: PROVIDED CONTINUOUS SHEATHING = 350' MIN.	
REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.	
LINTEL SCHEDULE	
L1	L 3 1/2 X 3 1/2 X 1/4 TYP UNO
L2	L 5 X 3 1/2 X 5/16
L3	L 6 X 4 X 5/16 ATTACHED TO HEADER WITH (2) 1/2" X 3" LAG SCREWS @ 16" O.C.
L4	16 GAGE STEEL FLEX LINTEL AT ARCH
HEADER SCHEDULE	
H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS
(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX. (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX. (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.	
NOTES: -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.	

1ST FLOOR FRAMING PLAN
WALLS AND CEILING: 1/4" = 1'-0"

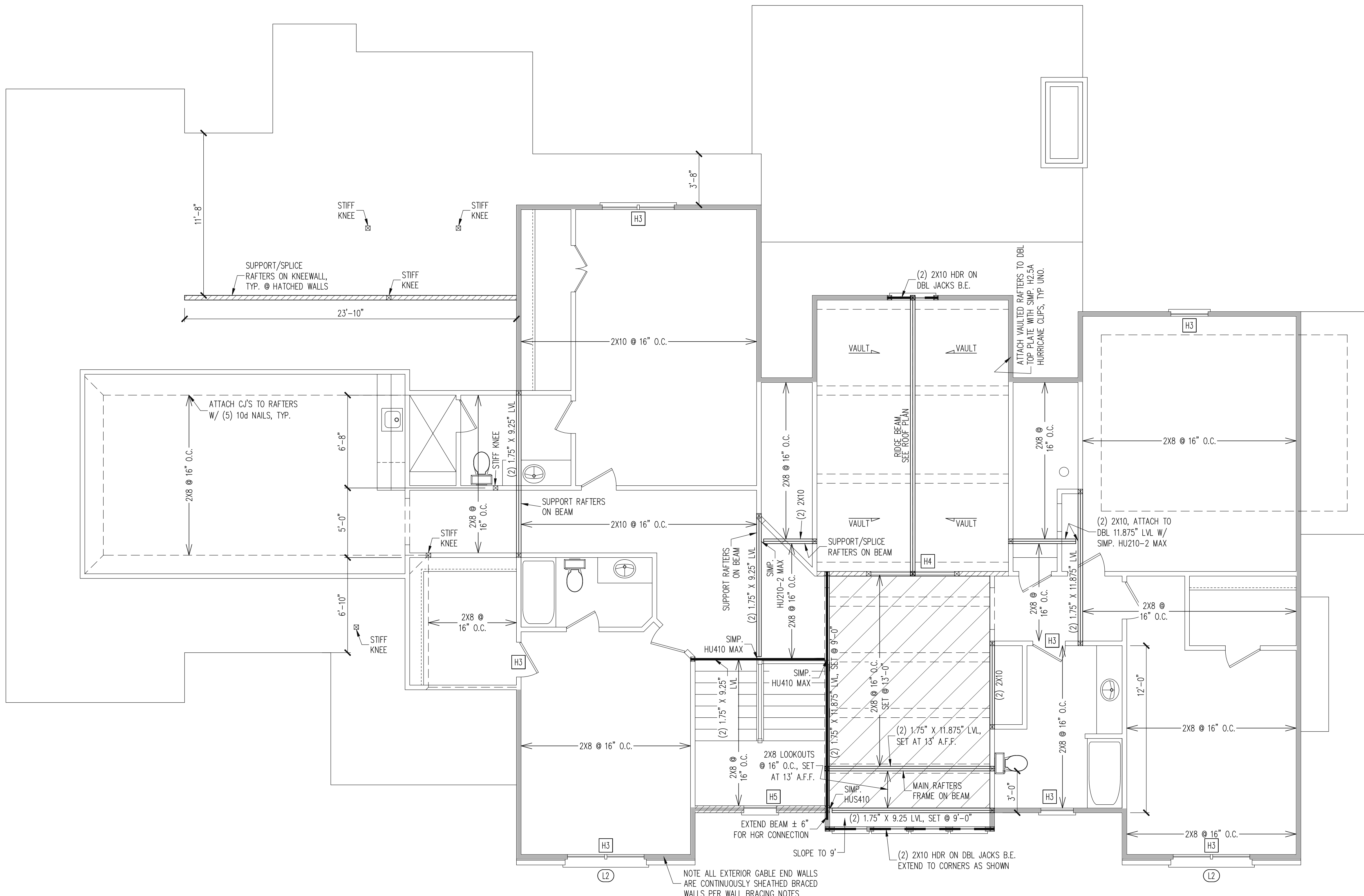
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SCOPE:	J&W CUSTOM HOMES
	STRUCTURAL ADDENDUM
LOC:	601 DAVIDSON
REV #	REF PROJ #
DATE	

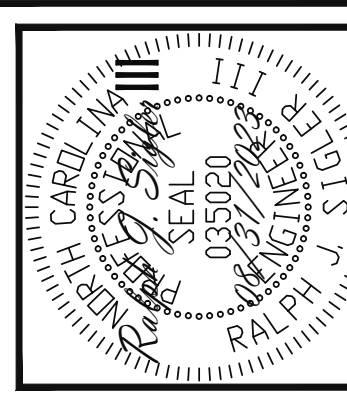
ENC:	CIB/RJS
DATE:	08/31/2023
PROJECT NO.:	23-17-018
SHEET NO.:	S3
	3 of 6



WALL BRACING	
SHADED WALLS:	
ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.	
NOTES: PROVIDED CONTINUOUS SHEATHING = 216" MIN.	
REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.	
LINTEL SCHEDULE	
L1	L 3 1/2 X 3 1/2 X 1/4 TYP UNO
L2	L 5 X 3 1/2 X 5/16
L3	L 6 X 4 X 5/16 ATTACHED TO HEADER WITH (2) 1/2" X 3" LAG SCREWS @ 16" O.C.
L4	16 GAGE STEEL FLEX LINTEL AT ARCH
HEADER SCHEDULE	
H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS
NOTES: -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.	

2ND FLOOR FRAMING PLAN
WALLS AND CEILING: 1/4" = 1'-0"

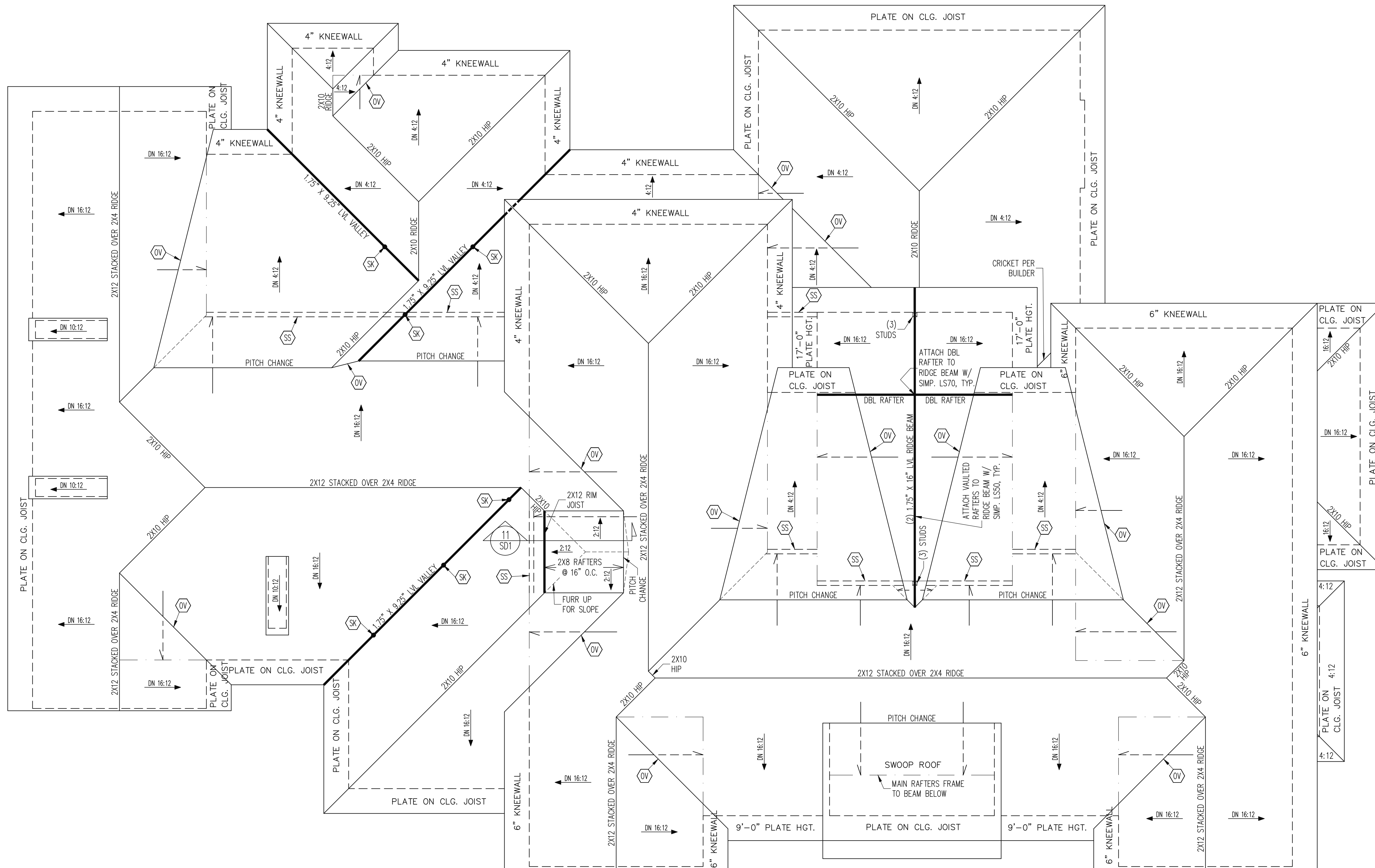
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J&W CUSTOM HOMES	
SCOPE:	STRUCTURAL ADDENDUM
LOC:	601 DAVIDSON
REV #	REF PROJ #
DATE	

ENC:	CIB/RJS
DATE:	08/31/2023
PROJECT NO.:	23-17-018
SHEET NO.:	S4
	4 of 6



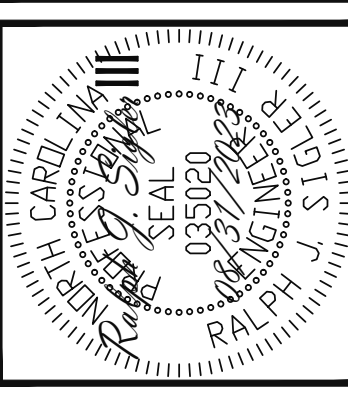
FRAMING NOTES
 ROOF ONLY
 -COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.
 -COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.
 -VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE
 ROOF ONLY
 OV OVERFRAME VALLEY (2X10 SLEEPER)
 SB SUPPORT/SPLICE RAFTERS ON BEAM BELOW
 SK DBL 2X4 STIFF KNEE
 SS SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

ROOF FRAMING PLAN

1/4" = 1'-0"

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LOC:	601 DAVIDSON
REV #	REF PROJ #
DATE	DATE

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DATE: 08/31/2023

PROJECT NO.
 23-17-018

SHEET NO.
 S5
 5 of 6

ALLOWABLE I-JOIST SUBSTITUTION

Table with columns: MANUFACTURER, DEPTH, SERIES, SIMPSON FACE MOUNT HGR, SIMPSON TOP FLANGE HGR, and various joist models like BLUCLAY, BOSE CASCADE, etc.

JOISTS NOT LISTED IN THE ABOVE TABLE MAY BE USED PROVIDED THEY MEET OR EXCEED THE PROPERTIES OF THOSE LISTED. SUBSTITUTE USP BRAND HANGERS WITH EQUIVALENT VALUES AS DESIRED.

NOTES

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION...

DECK SPECIFICATIONS

- 1. A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
2. SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
3. WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE...

ABBREVIATIONS

Table mapping abbreviations to full names: ABV ABOVE, B. BOTH, BTM BETWEEN, etc.

Table for JOIST SPAN vs DECKING with columns for JOIST SPAN and DECKING.

Table for POST SIZE vs MAX POST HEIGHT with columns for POST SIZE and MAX POST HEIGHT.

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS. 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT. 3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GRIDER.

Table for JOIST LENGTH vs REQUIRED FASTENERS with columns for JOIST LENGTH and REQUIRED FASTENERS.

Table for JOIST LENGTH vs REQUIRED FASTENERS (continued) with columns for JOIST LENGTH and REQUIRED FASTENERS.

Table for POST SIZE vs CONC. DIAM. with columns for POST SIZE, TRIBUT. AREA, POST HEIGHT, EMB. DEPTH, and CONC. DIAM.

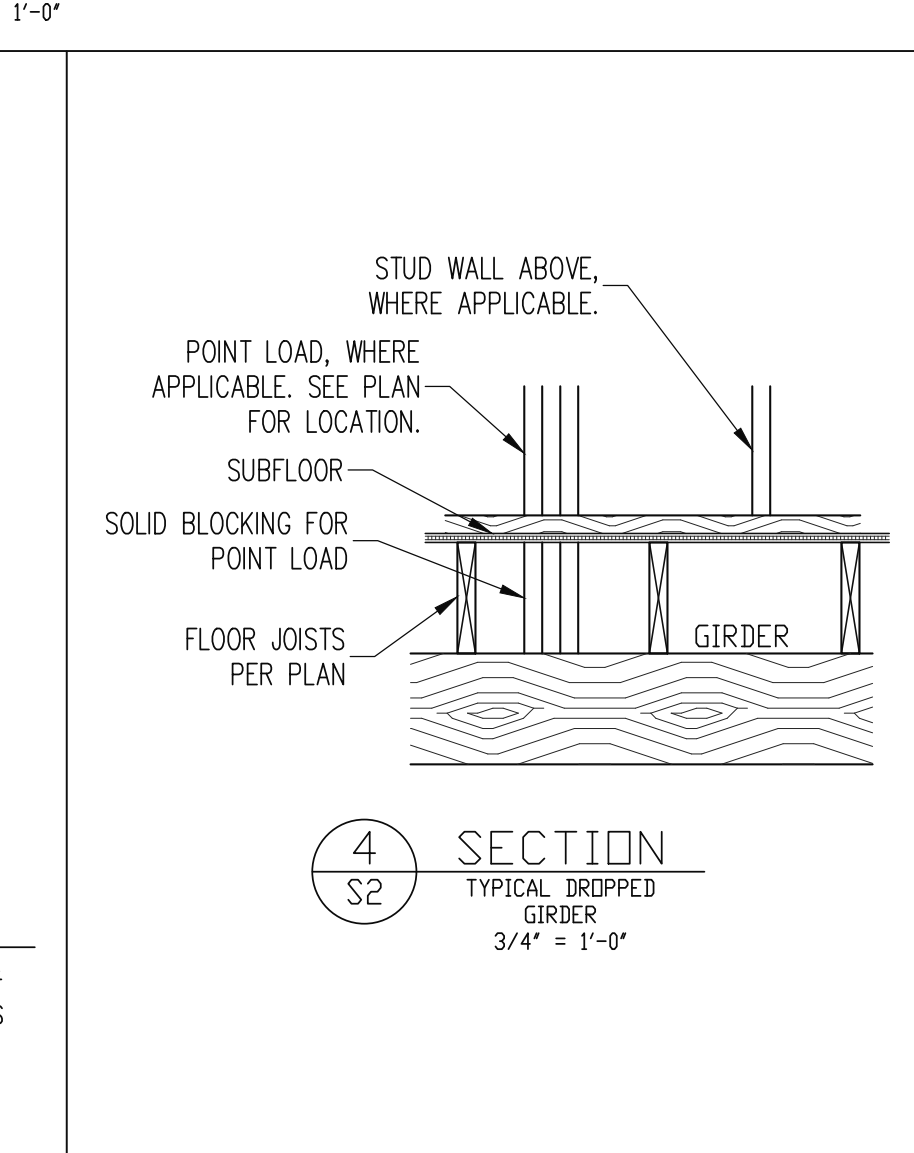
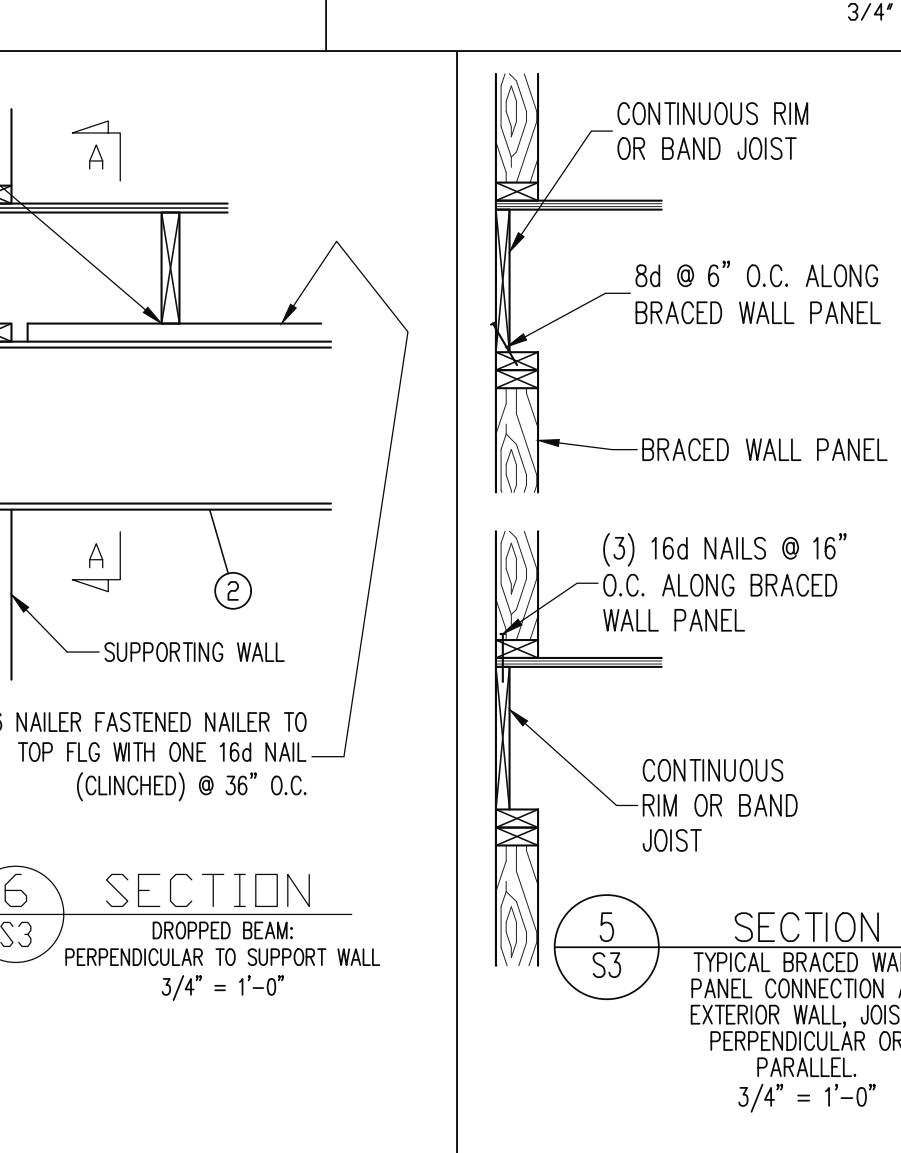
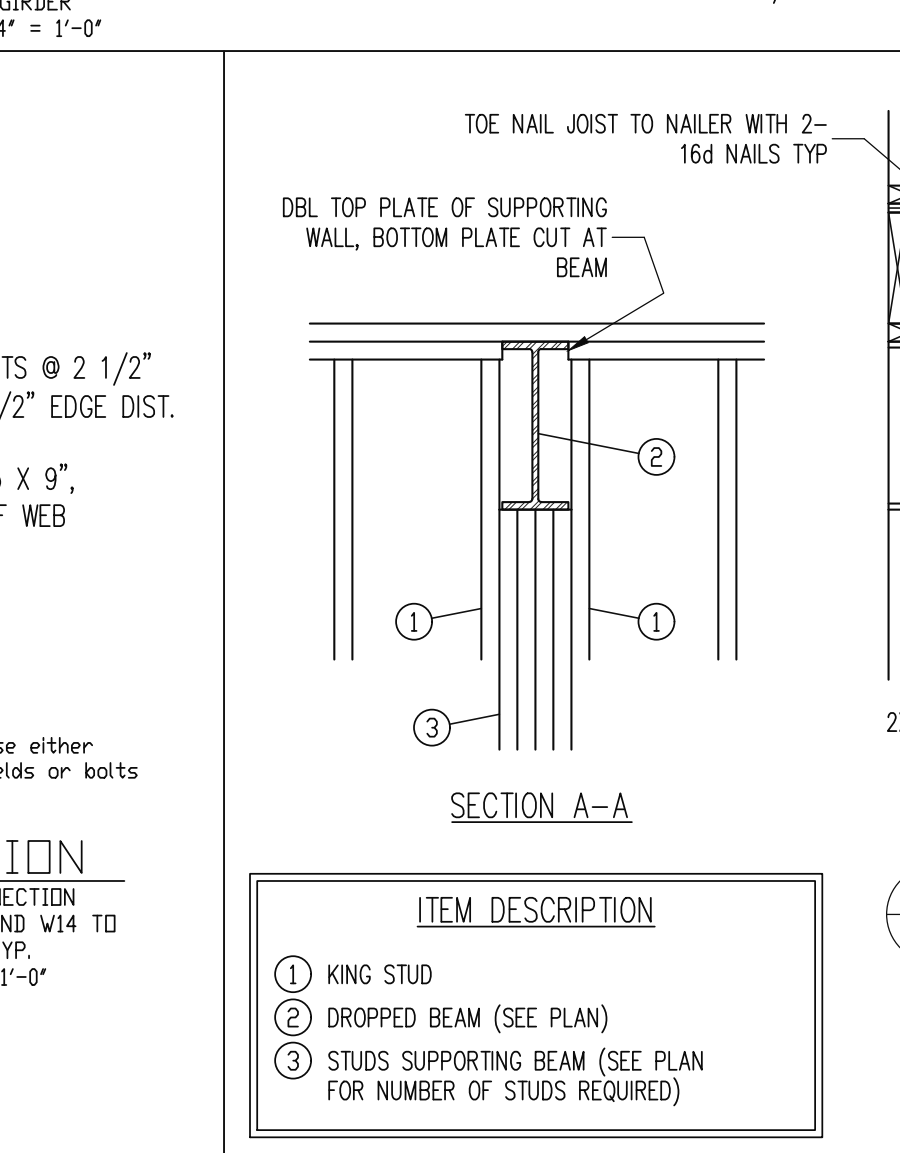
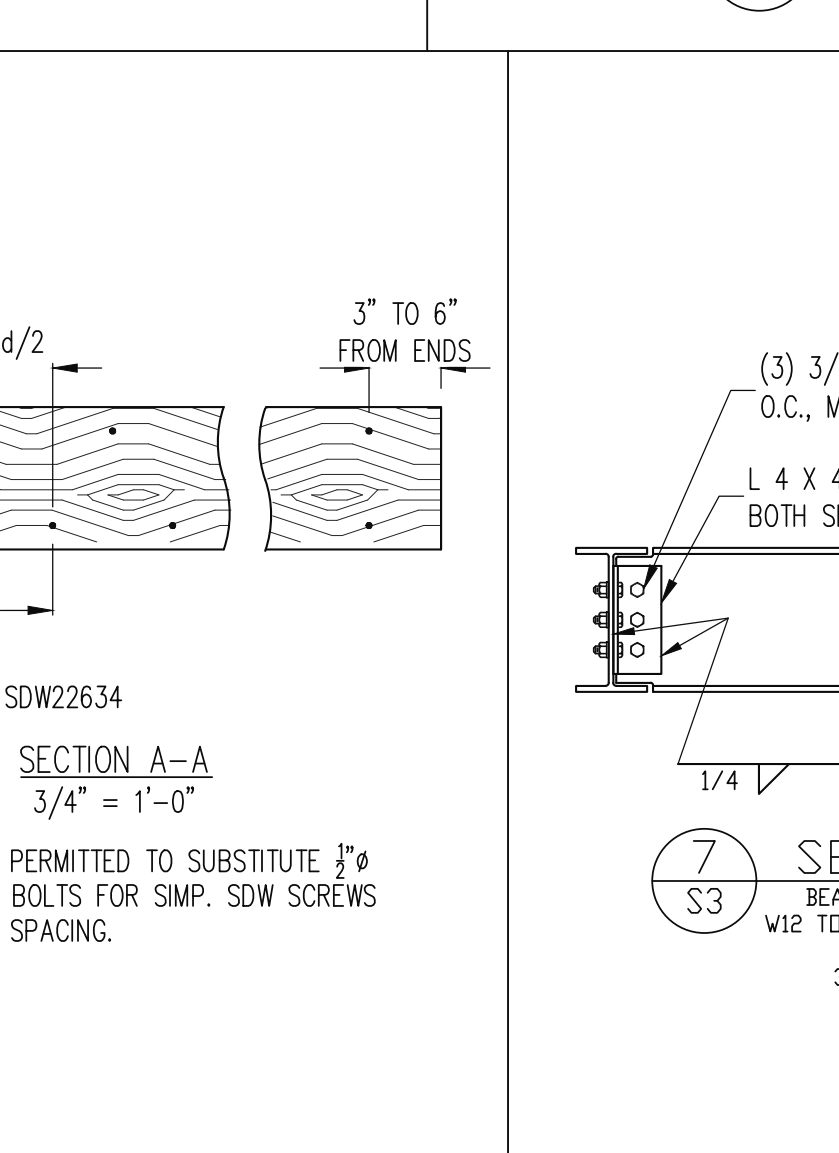
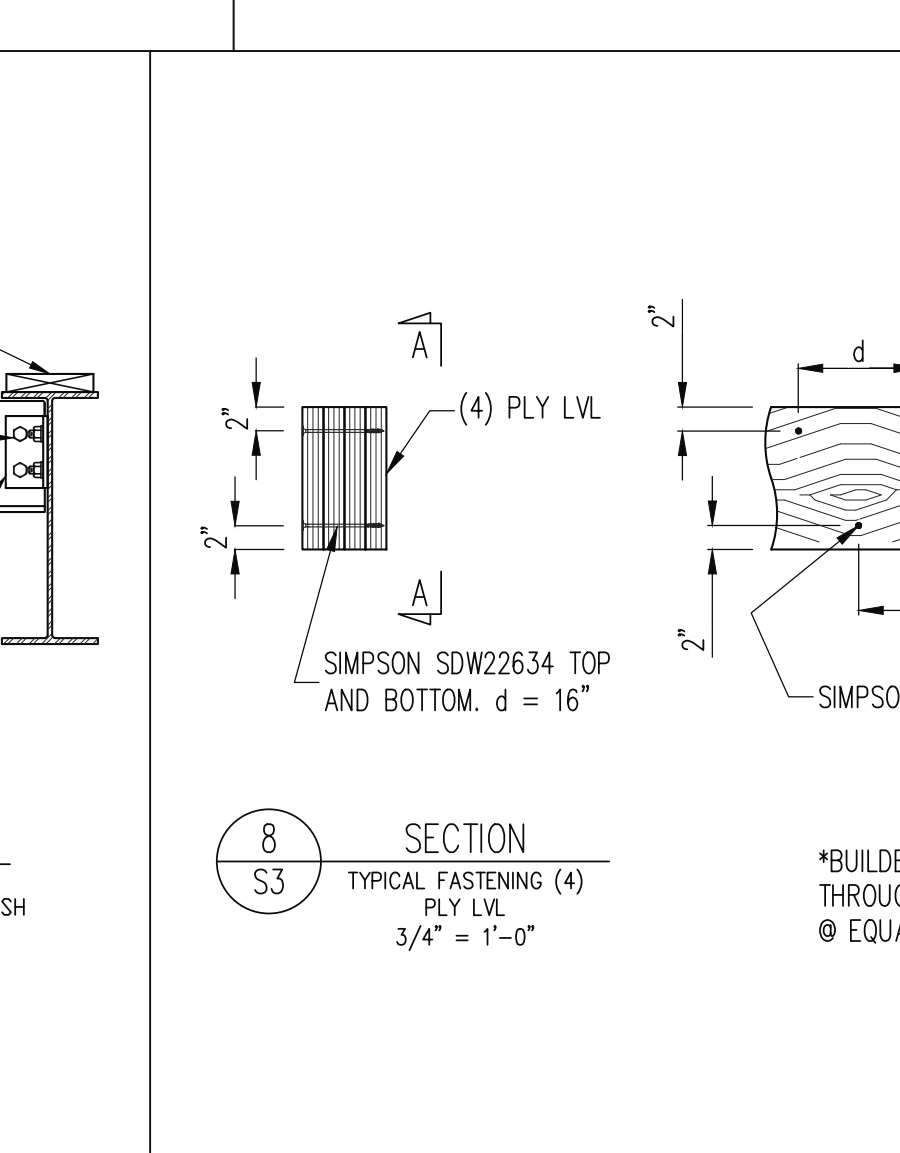
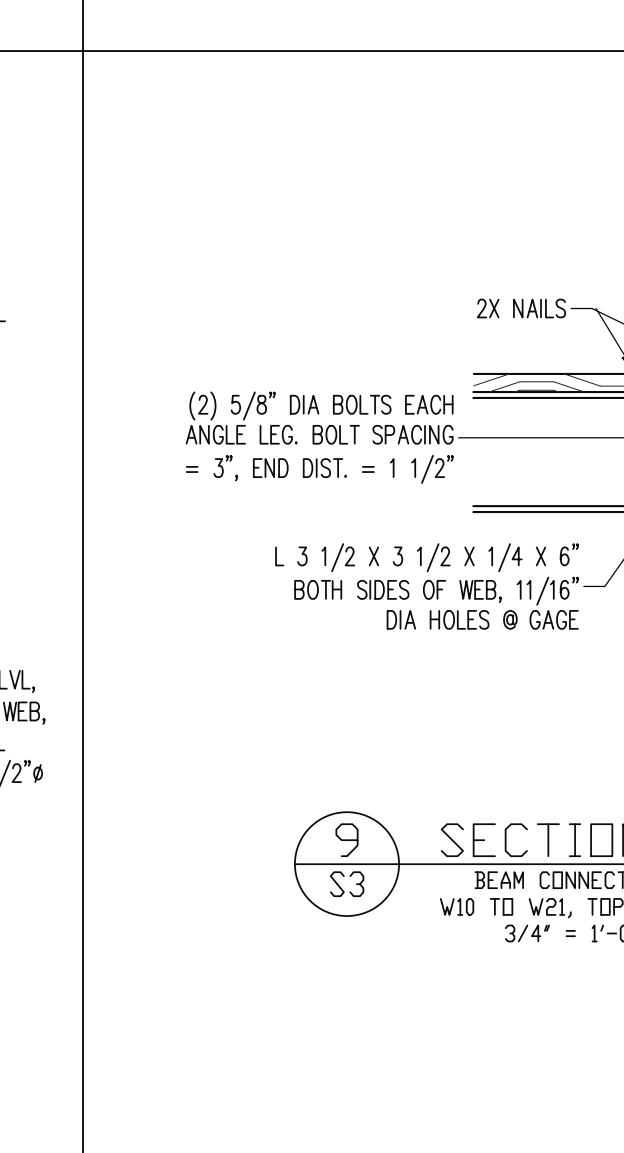
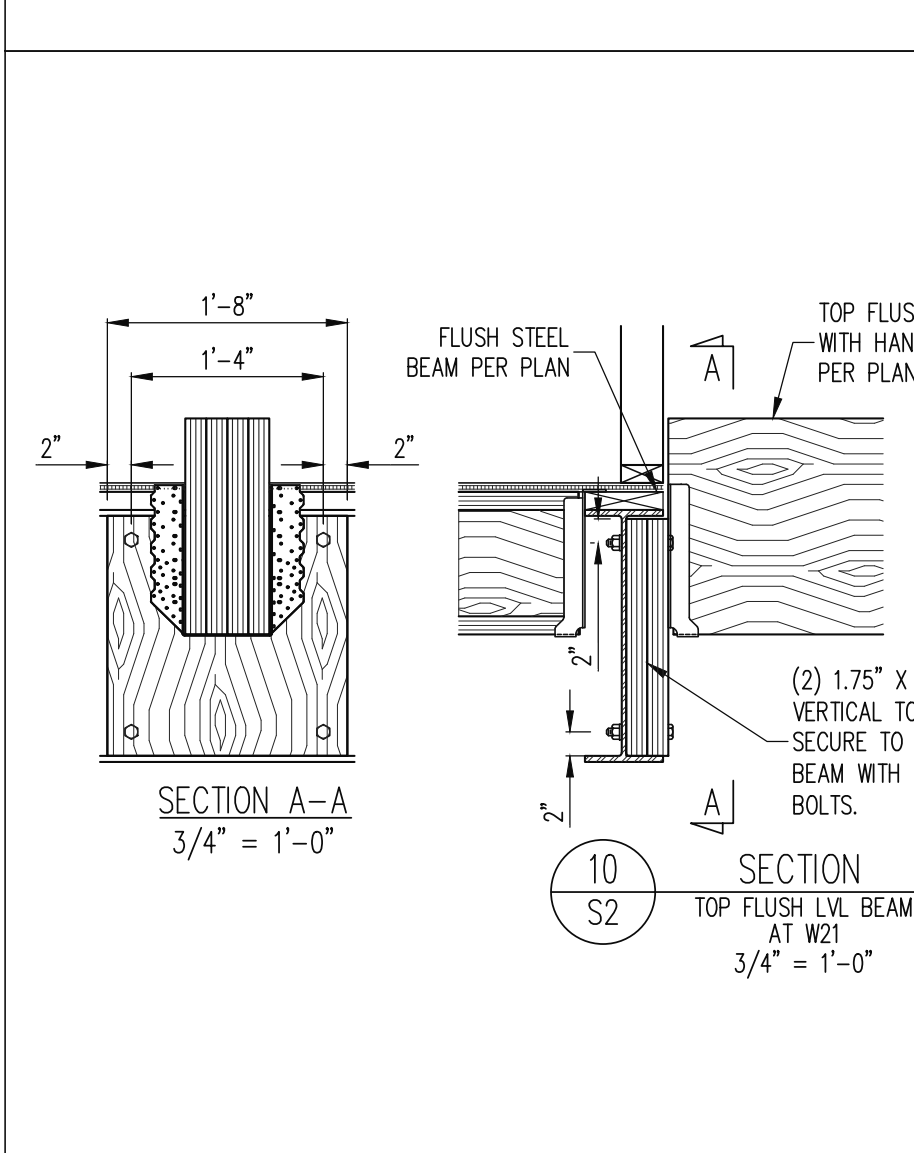
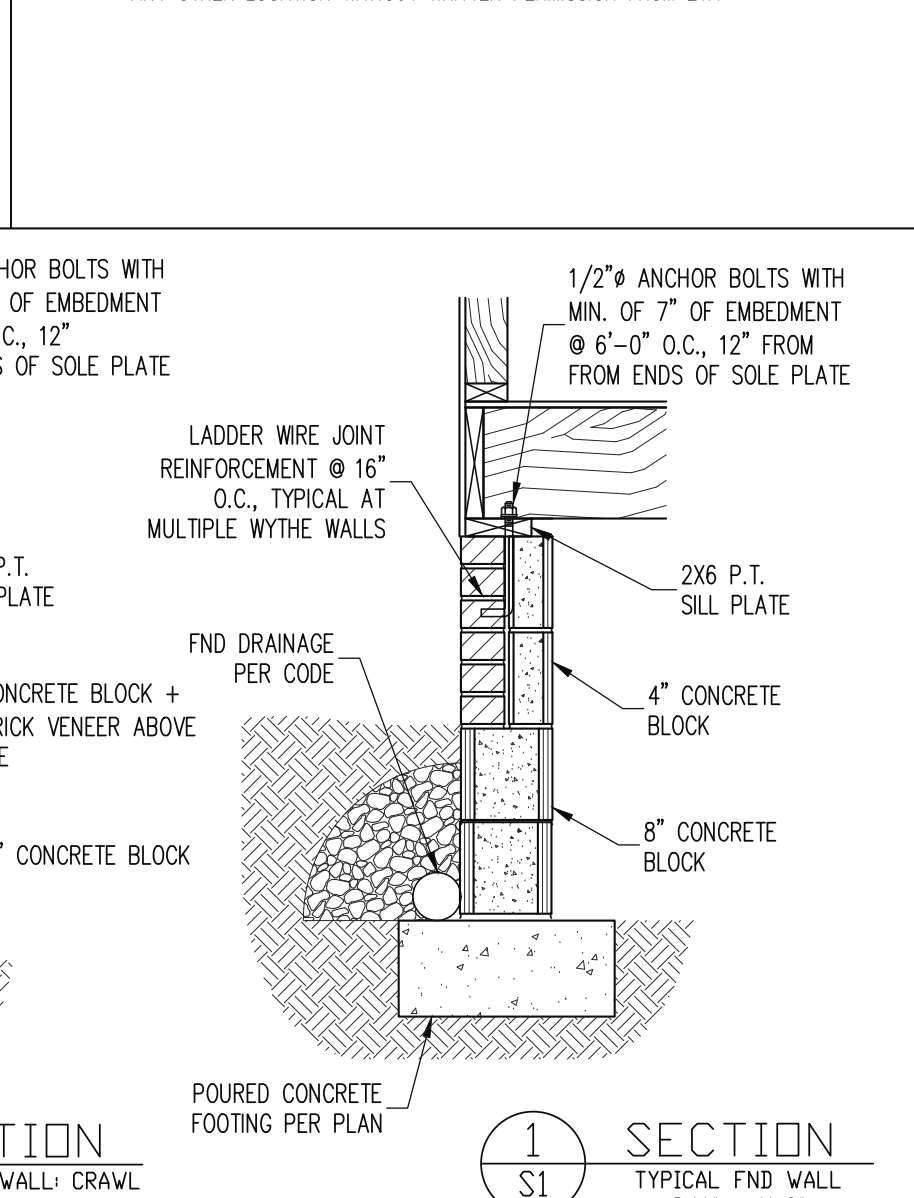
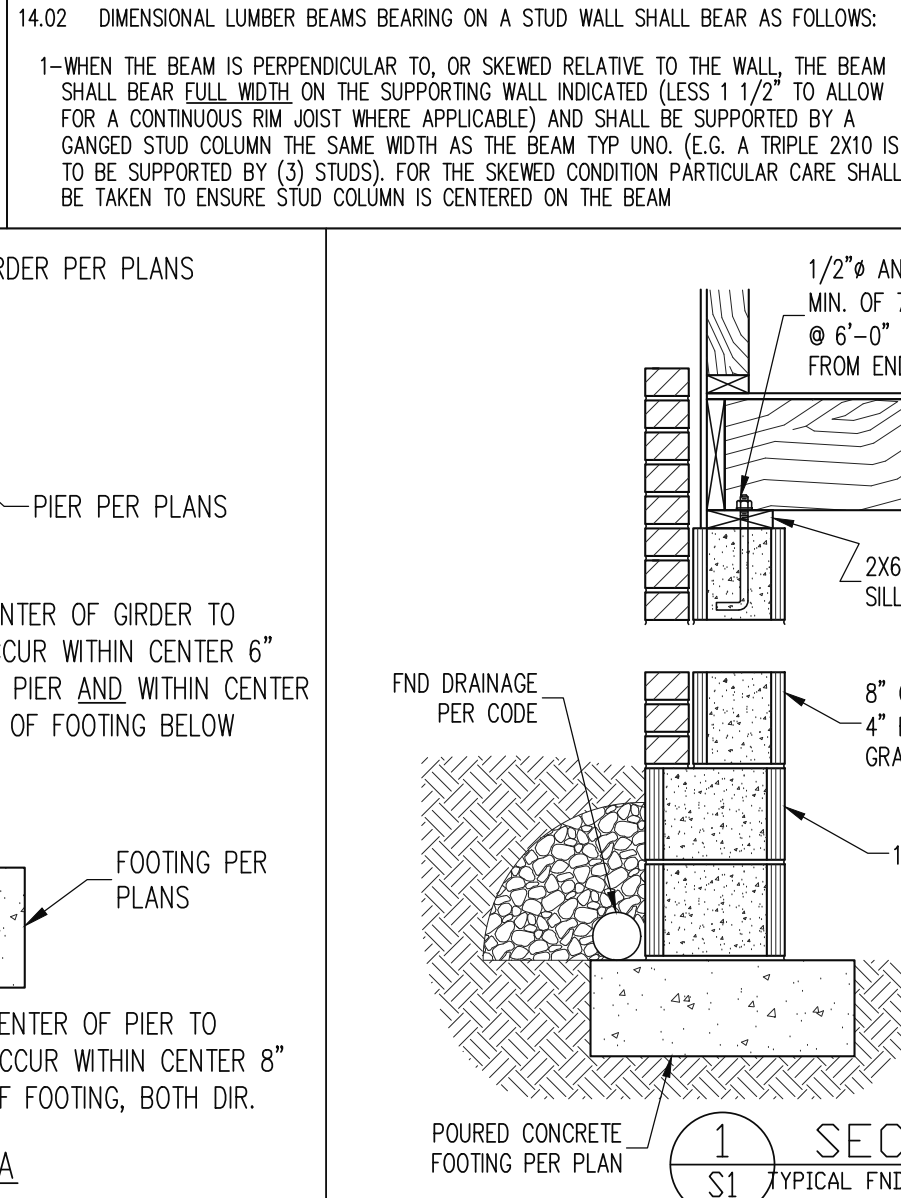
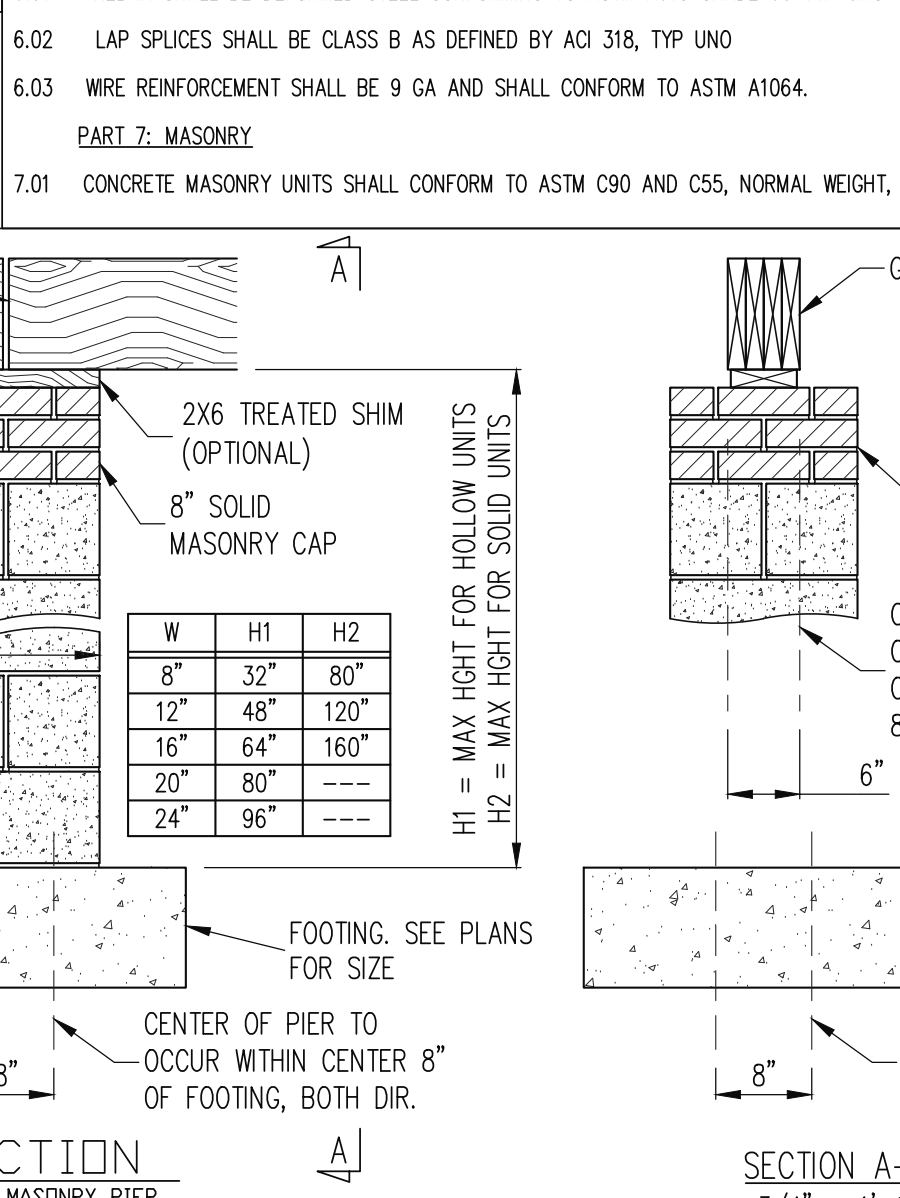
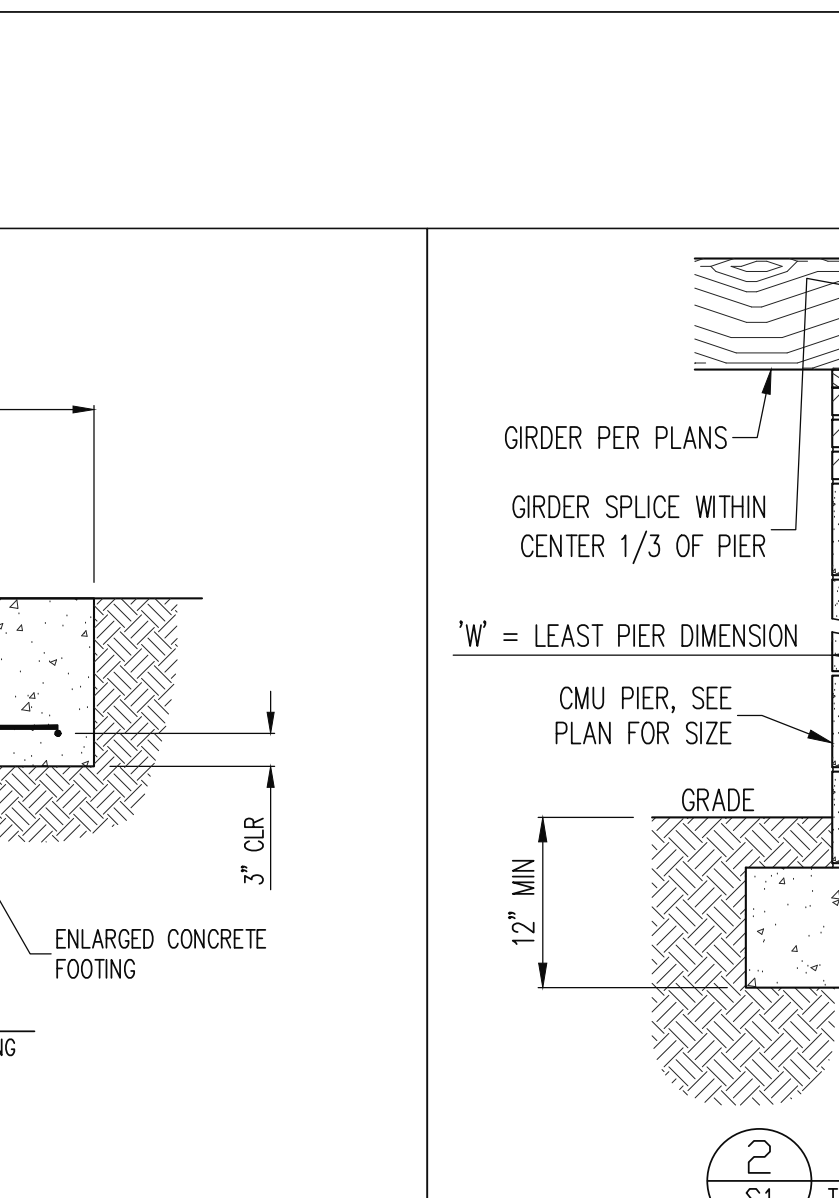
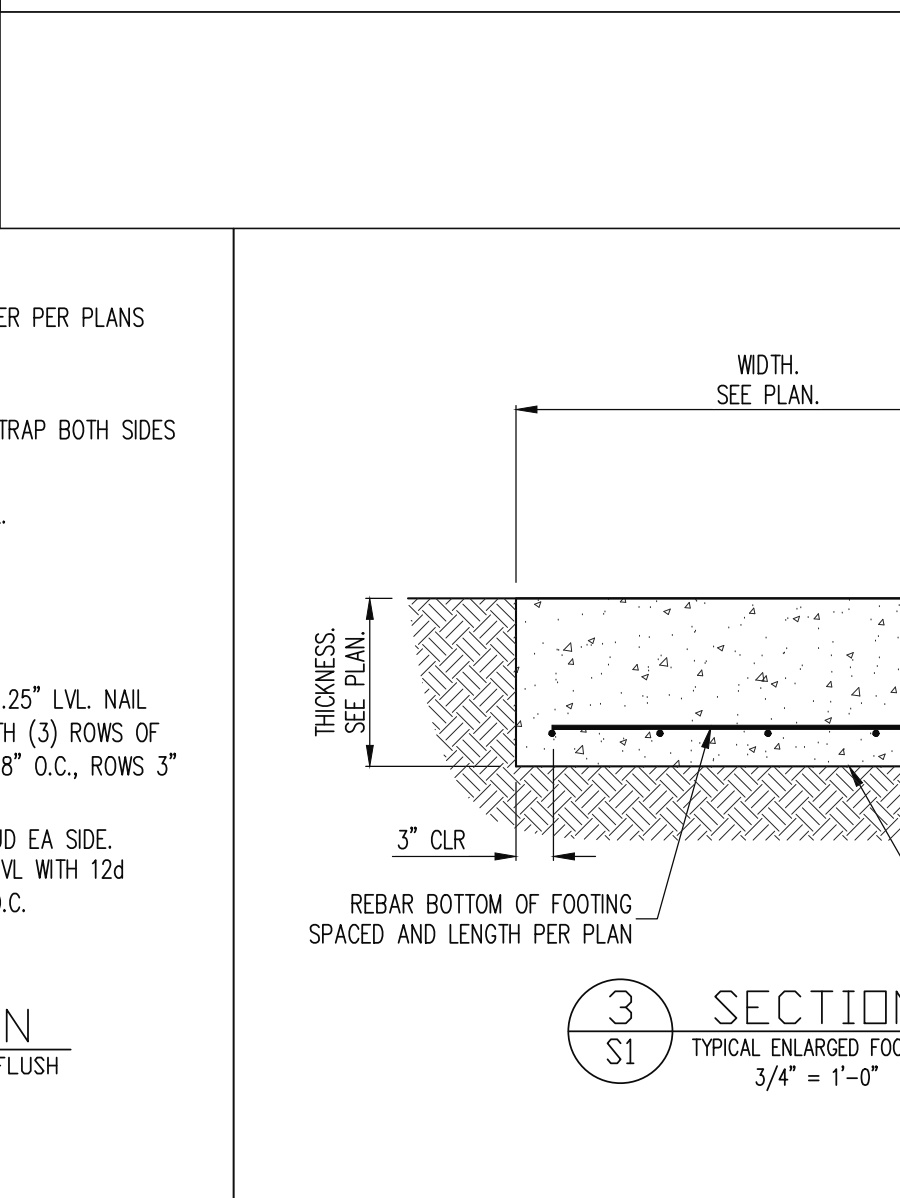
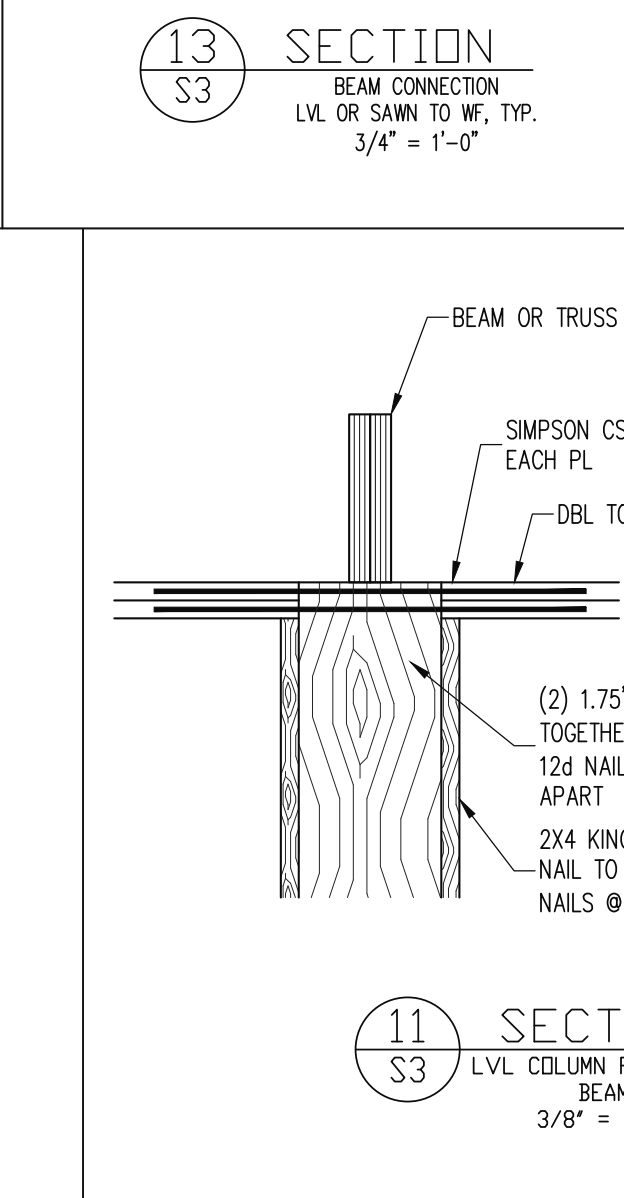
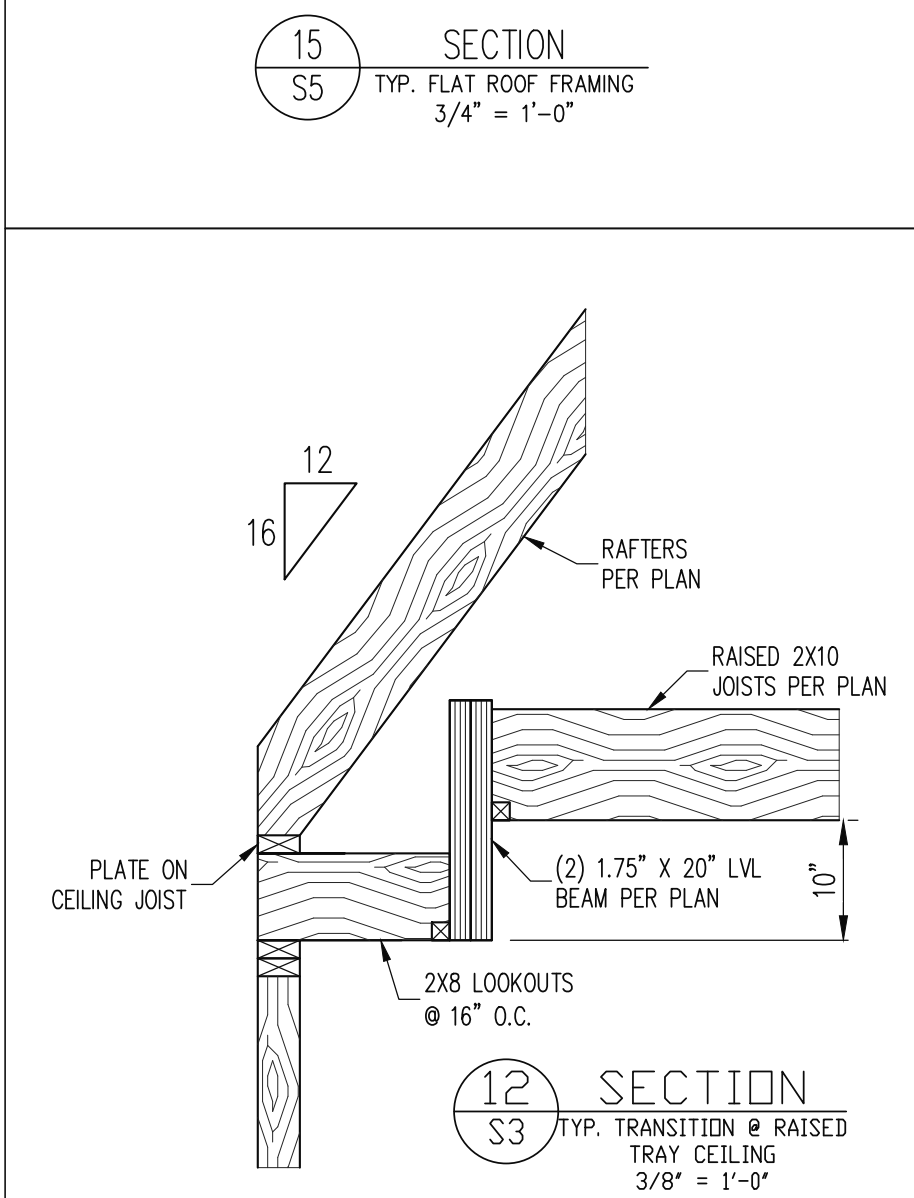
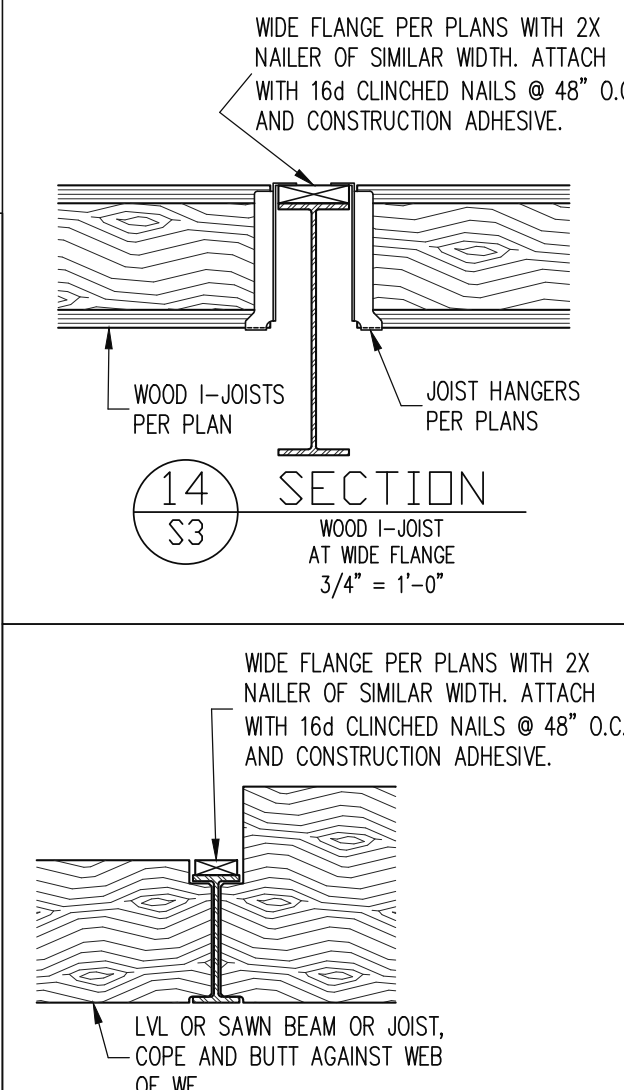
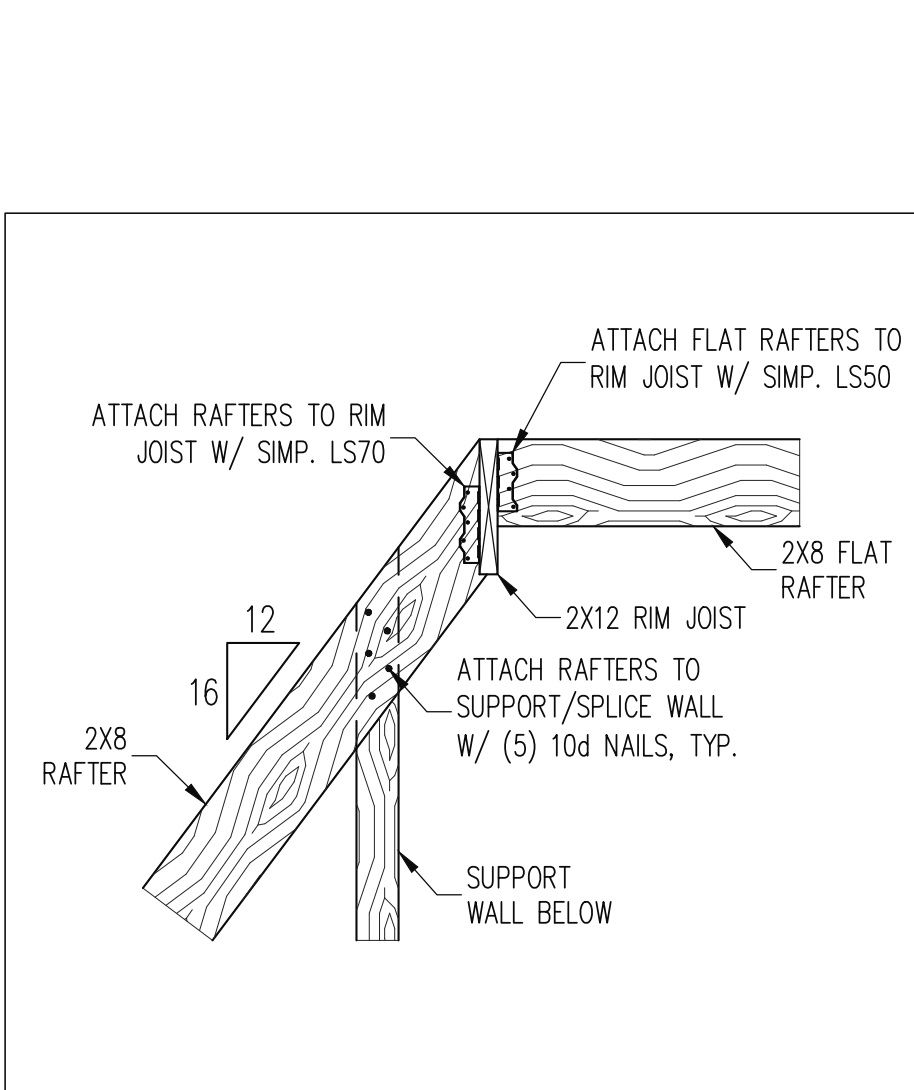
NOTES: 1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED. 2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2". 3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".

CONSTRUCTION SPECIFICATIONS

- PART 1: GENERAL
1.01 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
1.02 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.
1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

- 1/4" = 1.500 PSI MIN
7.02 CLAY MASONRY UNITS SHALL CONFORM TO ASTM C62-17 GRADE SW
7.03 MORTAR SHALL BE TYPE S. MORTAR AND GROUT SHALL CONFORM TO ASTM C476, MIN COMPRESSIVE STRENGTH OF 2000 PSI.
7.04 MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530
7.05 LADDER WIRE REINFORCEMENT SHALL CONFORM TO ASTM A951, 6" MIN LAPS FOR CONTINUOUS WALL APPLICATIONS.

- 14.03 EXTRA JOISTS BEARING ON A STUD WALL PERPENDICULAR TO OR SKEWED RELATIVE TO THE BEAM SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
14.04 STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C., 3" APART, FOR 2X8 OR 2X10 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE GAVITY FORMED BY THE FLOOR JOISTS.
15.01 SOLID SAW LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C. FOR 2X10 OR LARGER, TWO ROWS OF 10d NAILS @ 16" O.C. FOR 2X8, ONE ROW OF 10d NAILS @ 16" O.C. FOR 2X6 OR SMALLER. STAGGER ROWS 5" MIN.



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J&W CUSTOM HOMES STRUCTURAL ADDENDUM 601 DAVIDSON REV # REF PROJ # DATE SCOPE: LOC: ENC: CIB/RJS DATE 08/31/2023 PROJECT NO. 23-17-018 SHEET NO. SD1 6 of 6